

**BLOCK 1**  
 PROPOSED OPEN SPACE  
 (BROW PARK TRAIL)  
 AREA: 6,775.22m<sup>2</sup> (0.67 HA)

**BLOCK 2**  
 MULTI - RESIDENTIAL  
 260 UNITS (86.62 UNITS PER HA)  
 AREA: 30,014.89m<sup>2</sup> (3.0 HA)

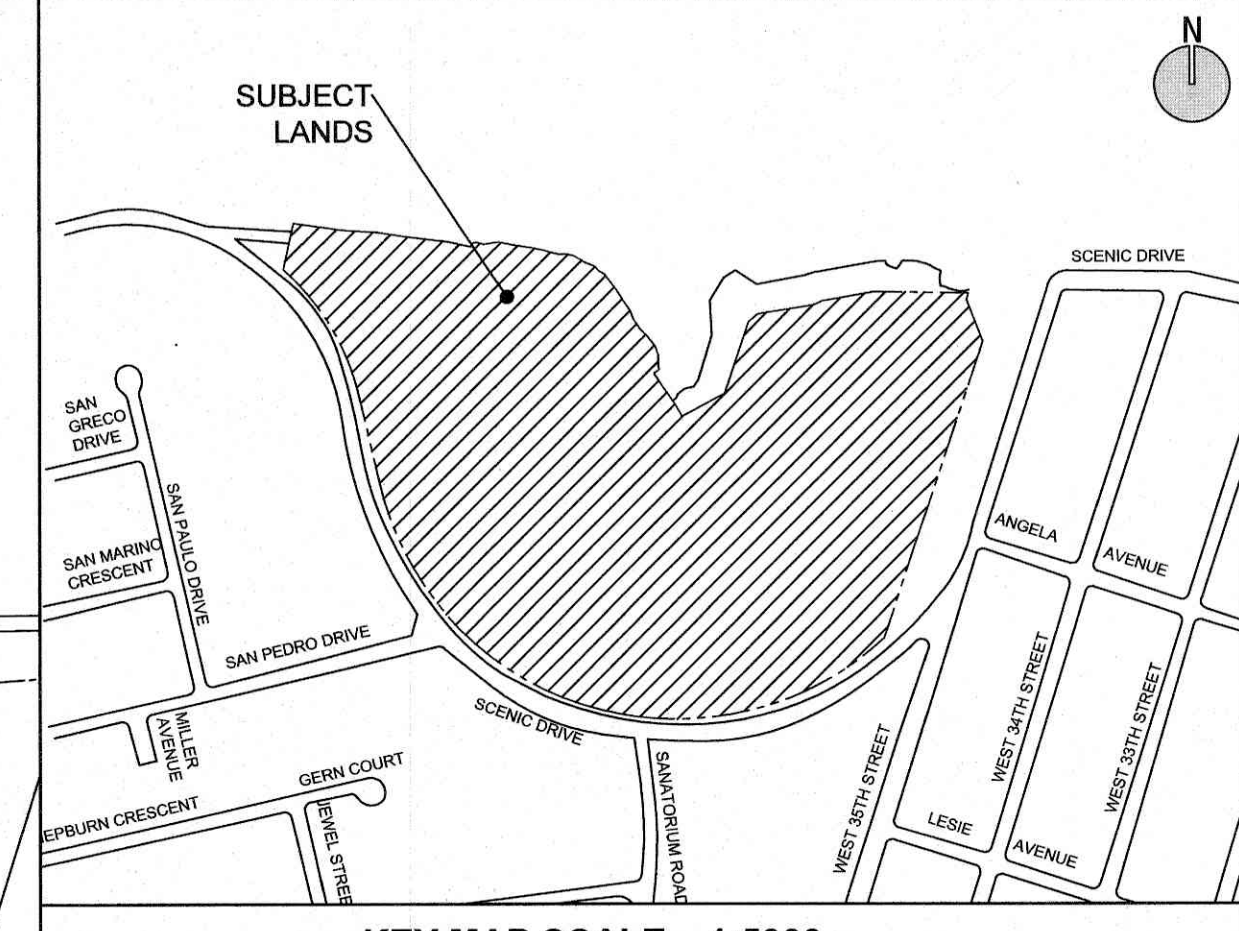
**BLOCK 3**  
 STORMWATER  
 MANAGEMENT BLOCK  
 AREA: 3,228.54 m<sup>2</sup>  
 (0.32 HA)

**BLOCK 4**  
 OPEN SPACE  
 AREA: 10,939.18 m<sup>2</sup> (1.09 HA)

**BLOCK 5**  
 MULTI - RESIDENTIAL  
 370 UNITS (129.82 UNITS PER HA)  
 AREA: 28,468.12m<sup>2</sup> (2.85 HA)

**BLOCK 6**  
 WOODLOT / ESA  
 AREA: 25,338.36m<sup>2</sup> (2.53 HA)

**BLOCK 7**  
 ROAD WIDENING  
 AREA: 2,496.41m<sup>2</sup> (0.24 HA)



REVISED DRAFT PLAN OF  
**"THE BROWLANDS"**  
 BEING A PROPOSED SUBDIVISION OF PARCEL "A", MOUNTAIN VIEW HEIGHTS  
 - REGISTERED PLAN NO. 699

**PART OF LOT SANATORIUM ROAD**  
 ESTABLISHED BY BY-LAW 66-244 REG'D AS INST.25862 AB  
**PART OF LOT SANATORIUM ROAD**  
 ESTABLISHED ACCORDING TO REGISTERED PLAN NO. 575 AS MOUNTAIN  
 VIEW BOULEVARD NAME CHANGED BY BY-LAW 871-1  
 956, REG'D AS INSTI.1805 BY-LAW AND  
**PART OF LOT 57, CONCESSION 2**  
 GEOGRAPHIC TOWNSHIP OF ANCASTER  
 CITY OF HAMILTON

SCALE 1:750

**METRIC**  
 ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO  
 FEET BY DIVIDING BY 0.3048

ADDITIONAL INFORMATION REQUIRED UNDER SECTION 51 SUB SECTION 17 OF THE PLANNING ACT,  
 R.S.O. 1990, C.P. 13

- |                            |   |
|----------------------------|---|
| (A) AS SHOWN ON DRAFT PLAN | AVAILABLE                                 |
| (B) AS SHOWN ON DRAFT PLAN | (I) TO BE CONFIRMED                       |
| (C) AS SHOWN ON DRAFT PLAN | (J) AS SHOWN ON DRAFT PLAN                |
| (D) SEE LAND USE SCHEDULE  | (K) ALL MUNICIPAL SERVICES TO BE PROVIDED |
| (E) AS SHOWN ON DRAFT PLAN | (L) NONE                                  |
| (F) AS SHOWN ON DRAFT PLAN |   |
| (G) AS SHOWN ON DRAFT PLAN |   |
| (H) MUNICIPAL PIPED WATER  |   |

LAND USE SCHEDULE TYPE	LAND USE	AREA
BLOCK 1	PROPOSED OPEN SPACE (BROW PARK TRAIL)	0.67 ha
BLOCK 2	MULTI-RESIDENTIAL	3.00 ha
BLOCK 3	MULTI-RESIDENTIAL	0.32 ha
BLOCK 4	OPEN SPACE (FLOOD LANDS PARK)	1.09 ha
BLOCK 5	MULTI-RESIDENTIAL	2.84 ha
BLOCK 6	WOODLOT/ ESA	2.53 ha
BLOCK 7	ROAD WIDENING	0.24 ha
<b>TOTAL</b>		<b>10.69 ha</b>

NOTES:  
 FOR DISCUSSION AND FORMAL CONSULTATION PURPOSES ONLY.

**OWNER'S AUTHORIZATION**

I AUTHORIZE URBANSOLUTIONS PLANNING AND LAND DEVELOPMENT CONSULTANTS INC. (URBANSOLUTIONS) TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF HAMILTON FOR APPROVAL.

Valery (CHECKED BROWLANDS) DEVELOPMENTS INC. OWNER *Valery* DATE *Oct 22, 2020*

FRED EISENBERGER, MAYOR, CITY OF HAMILTON OWNER DATE

ANDREA HOLLAND, CITY CLERK, CITY OF HAMILTON OWNER DATE

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT THE BOUNDARIES ARE OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN.

Dan McLaren (CHECKED) ONTARIO LAND SURVEYOR DATE *Oct 22, 2020*

No.	DATE	BY	DESCRIPTION

**URBAN SOLUTIONS**  
 PLANNING & LAND DEVELOPMENT  
 3 STUDEBAKER PLACE, UNIT 1  
 HAMILTON, ON L8L 0C8  
 905-546-1087  
 URBANSOLUTIONS.INFO

DRAWN BY: L. DRENNAN CHECKED BY: S. MANCHA DATE: 2020-10-01 US FILE NUMBER: 154-18

