

NOTES:

- Horizon Utilities**
- For Residential/ commercial electrical service requirements, the developer needs to contact Horizon Utilities.
 - Minimum 4m horizontal clear from all existing OH lines must be maintained at all times as per Horizon Utilities Standard 3-105.
 - Relocation, modification or removal of any hydro facilities shall be at the owner's expense.
 - Developer shall be responsible for the cost of civil associated with the duct structures, transformer foundations, and all related distribution equipment.
 - Developer to acquire an easement, if required.
 - Hydro easement is to remain clear of encroachment of any kind.
 - Heavy vehicle traffic shall not encroach on easement for the existing underground hydro plant.
 - In order for Horizon Utilities to prepare design and procure the materials required to service this site in a timely manner, a minimum of 6 months notification is required. It would be advantageous for the Developer if Horizon Utilities were contacted at the stage where the new Site Plan becomes available. Please note it takes approximately 20 weeks to purchase a transformer.
 - Do not excavate within 1m of hydro poles or anchors.
 - Excavation within 1m of the underground hydro plant is not permitted unless approval is granted by a Horizon Utilities representative and is present to provide direct supervision. Cost associated with this tak shall be at the owner's expense.
 - Horizon Utilities must be contacted if the removal, isolation or relocation of the existing plant is required. All cost associated with this work will be at the owner's expense.
 - Arrange for underground hydro cable located before beginning construction by contacting Ontario One Call.
 - Clearances from Overhead and Underground existing electrical distribution system must be maintained.
- Waste Management**
- This property is eligible for weekly collection of Garbage, Recycling, Organics, Bulk Waste, as well as leaf and yard waste through the City of Hamilton, subject to continuous compliance with specifications indicated by the Public Works Department and subject to compliance with the City's Solid Waste Management By-law 09-067 as amended, and Solid Waste Collection Design Guidelines for Developments.
 - The Developer or Owner is required to contact the City to request the restart of waste collection services.
 - Waste material generated by the construction of a new development is prohibited from municipal waste collection and shall be disposed of through a private waste hauler.
- Union Gas**
- Should the proposed site plan impact Union Gas services, it may be necessary to relocate the line according to the new property boundaries. Any services relocation required would be at the cost of the owner.
 - If there is any work at Union Gas easement and on/ near any of the existing facilities, contact Union Gas as early as possible (1 month in advance at least) so Union Gas can exercise engineering assessment of your work to ensure integrity of the main is maintained and protected.
 - Confirmation of the location of the natural gas pipelines should be made through Ontario Once Call for locates prior to any activity.

A. NOTES ON PLAN

- All work involved in the construction, relocation, repair or municipal services for the project shall be to the satisfaction of the Director of Planning, Planning and Economic Development Department.
- Fire Route Signs and 3-Way Fire Hydrants shall be established to the satisfaction of the City Fire Department and at the expense of the owner.
- Main driveway dimensions at the property line boundaries are plus or minus 7.5m unless otherwise stated.
- All driveways from property lines for the first 7.5m shall be within 5% maximum grade, thereafter, all driveways shall be within 10% maximum grades.
- The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/ approvals normally required to complete a construction project, such as, but not limited to the following:
 - Building permit
 - Road cut permits
 - Approach approval permits
 - Committee of Adjustment
 - Sewer and water permits
 - Relocation of services
 - Encroachment Agreements (if required)
- Abandoned accesses must be removed and the curb and boulevard restored with sod at the owner's expense to the satisfaction of the Traffic Engineering Section, Public Work Department.
- For visibility triangles at the vehicular access points, the following note to be provided: "3 meter by 3 meter visibility triangles in which the maximum height of any objects or mature vegetation is not to exceed a height of 0.70 meters above the corresponding perpendicular centreline elevation of the adjacent street."
- Proposed Fencing shall conform to the City's Fence By-law 09-007.
- Proposed Signage shall conform to the City's Sign and other device By-law 10-097.

UNDERTAKING

- I (We) The Urban Group, the owner(s) of the land, hereby undertake and agree without reservation,
- to comply with all the content of this plan and drawing and not to vary therefrom;
 - to perform the facilities, works or matters mentioned in Section 41(7)(a) of the Planning Act shown on the plan and drawing(s) in accordance with the conditions of approval as set out in the Letter of Approval dated June 14th 2016;
 - to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, work or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways;
 - in the event that the Owner does not comply with the plan dated August 30th 2016, the owner agrees that the City may enter the land and not be required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.
 - that the owner include the following warning clause on-title and in all offers and agreement of purchase and sale or lease or rental for all residential suites, "It is the responsibility of the tenant to ensure that the parking provided on-site is sufficient for his/ her needs. Parking in the surrounding neighbourhood is highly restrictive and on-street parking permits/ time limit exemption permits are not available to multi-unit building."
 - that the owner include warning clause (s) on title and in all offers and agreements of purchase and sale or lease or rental for all residential units as determined by the required noise assessment.
 - that the owner include warning clause in the rental agreement for potential tenants to address parking which states, "It is the responsibility of the tenant to ensure that the parking provided on site is sufficient for his/ her needs. Parking in the surrounding neighbourhood is higher restrictive and on-street parking permits/ time limit exemption permits are not available to multi-tenant buildings."

Dated this 30th day of August 2016

Witness (signature) [Signature] Owner (signature) [Signature]
 Witness (print) RENEE DABER Owner (print) SHAWN MACK
 Address of Witness [Address]

LEGEND

- NEW GRID NUMBER
- ELEV./SECT./DET. NUMBER
- REF. SHEET NUMBER
- DESIGNATION
- NORTH ARROW
- PROPERTY LINE
- ENTRANCE/EXIT DOOR
- NEW FIN. ELEVATION
- EXISTING ELEVATION
- FLOOR ELEVATION
- CONCRETE BLOCK WALL
- POURED CONCRETE WALL
- EXISTING
- WALL TYPE
- REVISION TO DRAWING

ABBREVIATIONS

A	AD. AREA DRAIN AFF. ABOVE FINISH FLOOR ALUM. ALUMINUM AP. ALUMINUM PANEL	J	JAN. JANITOR
B	B.C. BOTTOM OF CURB BO. BOARD B.M. BENCH MARK B.W. BOTTOM OF WALL	L	LOW WALL
C	C.J. CONTROL JOINT CONC. CONCRETE CONC. BLK. CONCRETE BLOCK CONT. CONTINUOUS C/C CENTER TO CENTER CL. CENTER LINE	M	MECH. MECHANICAL M.H. MANHOLE MT. METAL
D	DWG. DRAWING DN. DOWN	N	N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE
E	EA. EACH E.G. ELECTRICAL ELEV. ELEVATOR EQ. EQUAL EG. EXISTING EX/EXIST. EXISTING EXT. EXTERIOR	O	O.C. ON CENTER OPNG. OPENING
F	F.F.L. FINISH FLOOR LEVEL F.D. FLOOR DRAIN FN. FOUNDATION FIN. FINISH	R	RISER R.D. ROOF DRAIN RM. ROOM R.W.L. RAIN WATER LEADER
G	GL. GLASS GYP. GYPSUM	S	SIM. SIMILAR SPEC. SPECIFICATIONS S/S. STAINLESS STEEL
H	H.V.C. HANDICAPE HYD. HYDRANT	T	TREAD TC. TOP OF CURB T.O.S. TOP OF STEEL TYP. TYPICAL
I	INSUL. INSULATION INT. INTERIOR INV. INVERT	U	U/S. UNDERSIDE
		V	VERT. VERTICAL VEST. VESTIBULE
		W	W/ WITH W.C. WATER CLOSET

LOCATION

Part of Lots 46, 47, And 48 On The South Side of Rebecca Street Between James Street and Hughson Street

MUNICIPAL ADDRESS:

46-52 James Street North, Hamilton, Ontario

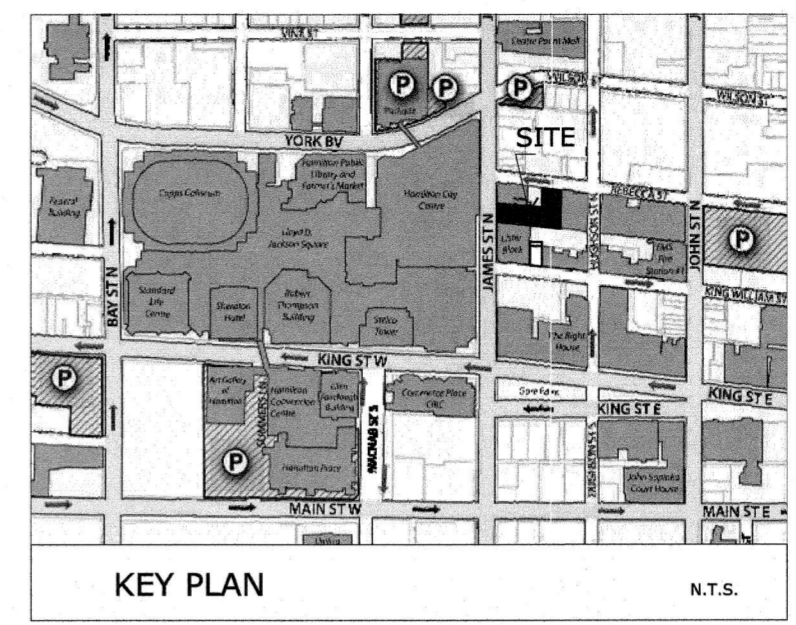
SITE DATA

PROPERTY AREA	1,809.12 s.m. (19,473 s.f. / 0.18 ha)
TOTAL FLOORS AREA	14,855 s.m. (159,898 s.f.) - Not Include Basement & Mechanical Penthouse
FIRST FLOORS AREA (G.F.A.)	1,313 s.m. (14,197 s.f.)
BUILDING COVERAGE	72.6%
MAX. BUILDING HEIGHT REQUIRED	67.0 m
MAX. BUILDING HEIGHT PROPOSED	64.93 m
PARKING STANDARDS	PARKING SPACES: 33, HANDICAPPED SPACES: 1, TOTAL PARKING SPACE: 33
NUMBER OF BI-CYCLE UNIT PROVIDED	270 Bicycles
LANDSCAPE AREA	

INFORMATION CHART

PROJECT DESCRIPTION	NEW 20 STOREY RESIDENTIAL TOWER & 1 STOREY PARKING GARAGE BELOW GRADE
TOTAL PROPERTY AREA	1,809.12 s.m. (19,473 s.f. / 0.18 ha)
G.F.A. OF PROPOSED BUILDING	14,855 s.m. (159,898 s.f.)
HEIGHT OF THE PROPOSED BUILDING	64.93 m

NATURE OF PROPOSED TENANCY		STUDENT RESIDENCE
TOTAL NUMBER OF PARKING SPACES REQUIRED (units > 515m)	110 x 0.3	33 CARS PARKING
TOTAL NUMBER OF PARKING SPACES REQUIRED (units < 515m)	52 x 0.66	34 CARS PARKING
TOTAL NUMBER OF PARKING SPACES REQUIRED		67 CARS PARKING
TOTAL NUMBER OF PARKING SPACES PROVIDED		33 CARS (INCLUDED 1 H.C. PARKING)
BUILDING CLASSIFICATION ACCORDING TO THE ONTARIO BUILDING CODE		GROUP 'C' FULLY SPRINKLERED
TYPE OF BUILDING		STUDENT RESIDENCE
ROOM TYPE	2 BEDROOMS	2 BEDROOMS BARRIER-FREE
	22	9
	30	162
No. OF ROOMS	161	22
AVERAGE G.F.A. (s.m.)	44.0	59.4
		42.0
		95.9



SITE NOTE

SITE PLAN BASED ON SURVEY PLAN PREPARED BY: A.T. McLaren Limited, LEGAL AND ENGINEERING SURVEYS

DRAWING INDEX

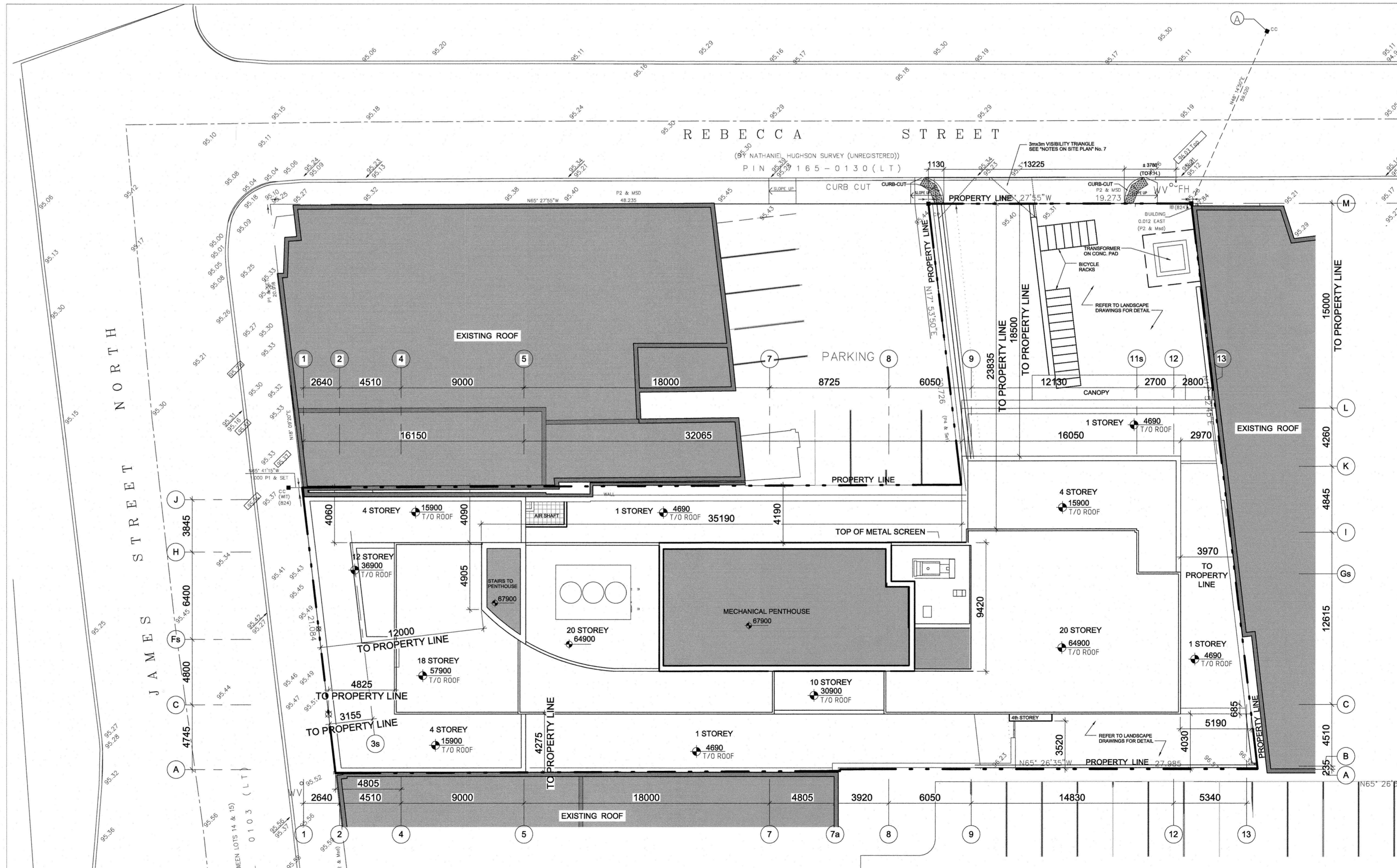
- Architectural**
- A101 - SITE PLAN
 - A102 - SURVEY PLAN (REFERENCE ONLY)
 - A201 - BASEMENT PLAN
 - A202 - FIRST FLOOR PLAN
 - A203 - SECOND FLOOR PLAN
 - A204 - 3rd AND 4th FLOOR PLAN
 - A205 - 5th FLOOR PLAN
 - A206 - 6th-10th FLOOR PLAN
 - A207 - 11th-12th FLOOR PLAN
 - A208 - 13th-18th FLOOR PLAN
 - A209 - 19th FLOOR PLAN
 - A210 - 20th FLOOR PLAN
 - A211 - ROOF PLANS
 - A301 - WEST ELEVATION
 - A302 - SOUTH ELEVATION
 - A303 - EAST ELEVATION
 - A304 - NORTH ELEVATIONS
 - A305 - HERITAGE ELEVATION & WALL SECTION
 - A401 - BUILDING SECTIONS
- Civil**
- C101 -
 - C102 -
- Landscape**
- L01 -

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work. Do not scale drawings.

All drawings and specifications are the property of the Architect and must be returned at the completion of the job.

This drawing shall not be used for construction unless countersigned by: _____ WGD ARCHITECTS INC.

NO.	DATE	REVISION	BY
3	AUG 30, 2016	ISSUED FOR SITE PLAN APPLICATION REVISION	
2	MAY 17, 2016	ISSUED FOR SITE PLAN APPLICATION REVISION	
1	MARCH 15, 2016	ISSUED FOR SITE PLAN APPLICATION	



1 SITE PLAN 1:200

PRELIMINARY



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 F: 416 595 0823
 www.wgdarchitects.com



PROJECT TITLE:
WILLIAM THOMAS STUDENTS RESIDENCE
 HAMILTON, ONTARIO

FILE NO.: 29238
 SHEET TITLE:
SITE PLAN, LEGEND & SITE DATA

SCALE: As Noted	PLOT SCALE: 1:1	DRAWING NO.:
DATE: OCTOBER, 2009	PLOT DATE: 30 Aug 2016	A101
DRAWN BY: R.D.	CHECKED BY: R.D.	