

SITE STATISTICS		
ITEM	REQUIRED	PROVIDED
ZONING CATEGORY	C5 - Mixed Use Medium Density & C6 - District Commercial HOMESTEAD DRIVE SHALL BE DEEMED THE FRONT LOT LINE	
<b>DENSITY SUMMARY</b>		
LOT AREA	4033.50 m <sup>2</sup>	(0.40ha)
BUILDING HEIGHT		
BUILDING FLOOR AREA	1348 m <sup>2</sup>	(0.13ha)
ROAD WIDENING	76.61 m <sup>2</sup>	(0.01ha)
ASPHALT	1558 m <sup>2</sup>	(0.16ha)
SIDEWALK	215 m <sup>2</sup>	(0.02ha)
LANDSCAPE	1002 m <sup>2</sup>	(0.10ha)
TOTAL SUITES	50 max	40
DENSITY		

SETBACKS		
LOT FRONTAGE	54.0 m min.	55.6 m
LOT DEPTH	36.0 m min.	66.4 m (80.5m)
LOT COVERAGE	-- max.	33.42%
FRONT YARD	3.0 m min.	4.3 m
INT. SIDE YARD	7.5 m min.	21 m
EXT. SIDE YARD	3.0 m min.	3.6 m
REAR YARD	7.5 m min.	14.4 m

PARKING SUMMARY		
PARKING STD	RATIO	SPACES
	1.25	48
BARRIER FREE PARKING	RATIO	REQ
	4%	2
50-100 SPACES		2
TOTAL PARKING		50
PARKING SIZE	REQUIRED	PROVIDED
STD PARKING	2.8m x 5.8m	2.8m x 5.8m
BARRIER FREE PARKING	3.5m x 5.8m	3.5m x 5.8m
<b>BICYCLE PARKING</b>		
	REQ	PROVIDED
TOTAL BIKE PARKING	5	5

**GENERAL NOTES**

THE OWNER IS REQUIRED TO REMOVE SNOW OFF SITE AND MAINTAIN REQUIRED PARKING UNOCCLUDED BY SNOW DURING MAJOR SNOW EVENTS. THE OWNER IS REQUIRED TO REMOVE SNOW AND ICE FROM ALL EXIT PATHS AND STAIRS. SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.

DRIVEWAYS ARE TO BE 1.2 CLEAR OF UTILITY STRUCTURES AND HYDRANTS. BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS, AND OTHER SERVICES.

IF MINIMUM DIMENSION IS NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE. BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.

PRIOR TO THE COMMENCEMENT OF ANY WORKS ON THE SITE, SNOW FENCE IS INSTALLED ON THE PERIMETER OF THE PROPERTY AND AT LOCATIONS AS DETERMINED BY THE MANAGER, DEVELOPMENT ENGINEERING. THE SNOW FENCE SHALL REMAIN IN PLACE UNTIL SUCH TIME AS OTHERWISE DIRECTED BY THE MANAGER, DEVELOPMENT ENGINEERING.

PRIOR TO THE COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICE DEPARTMENT, TOWN OF OAKVILLE, FOR THE PURPOSE OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING EXCAVATIONS (ROAD ALLOWANCE PERMIT) WITHIN THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING.

PARKING STALL DELINEATION TO BE 100MM WIDE WHITE OR YELLOW MARKINGS. VISITOR PARKING TO BE MARKED WITH A PAINTED 'V'. RESIDENT PARKING TO BE MARKED WITH PAINTED NUMBERS.

ALL REFUSE WILL BE STORED INTERNALLY. WASTE TO BE COLLECTED FROM HALTON REGION.

LOCATION OF GUARDS PROTECTING OPENINGS TO ACCESS UNDERGROUND PARKADE ARE IDENTIFIED ON PLAN - DETAIL AND CONSTRUCTION OF GUARD TO BE PART OF FUTURE COMPLETE ARCHITECTURAL DRAWINGS & ENGINEERED SHOP DRAWINGS BY SYSTEM MANUFACTURER ISSUED FOR CONSTRUCTION.

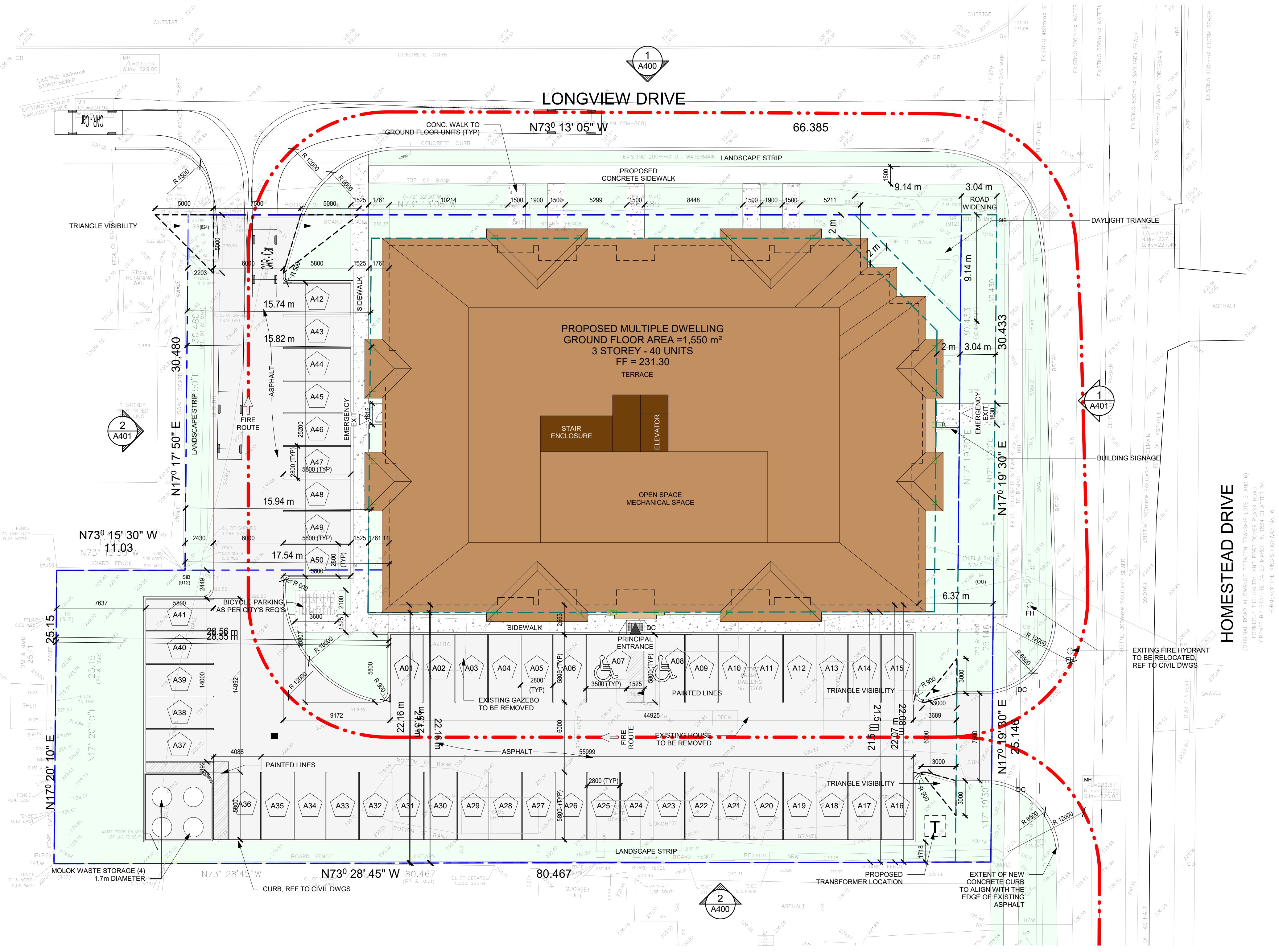
SURVEYOR'S CERTIFICATE:	
DATE	12/28/2024
BY	A.T. McLaren Limited

**NOTES**

GRADING NOTES:  
CIVIL DRAWINGS GOVERN FOR GRADING INFORMATION.  
NOTIFY ARCHITECT OF DISCREPANCIES

REFER TO LANDSCAPE DRAWINGS FOR PLANTINGS

DRAWING LEGEND	
	BUILDING SHADE
	LIGHT STANDARD
	MAIN BUILDING WALL SCENCE
	MAIN ENTRY DOOR (PRINCIPAL)
	EXIT DOOR
	FIRE HYDRANT(S)
	FIRE DEPARTMENT SIAMESE CONNECTION(S)



1 SITE PLAN  
1:200

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS MAY BE TO BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION' MUST ASSUME FULL RESPONSIBILITY AND

KEY TO DETAIL LOCATION			
No.	DETAIL NUMBER		
No.	DRAWING SHEET NUMBER		

DRAWING SETS ISSUED	No.	DATE (DD,MM,YY)	BY
TRAFFIC COMMENTS	1	06.05.22	KNYMH

REVISIONS TO DRAWING	No.	DATE (DD,MM,YY)	BY

BUILDING PERMIT NUMBER:  
NOT FOR CONSTRUCTION WITHOUT PERMIT

**KNYMH**  
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VALVASORI PROPERTIES

Homestead Residences  
3250 & 3260 HOMESTEAD DR.,  
HAMILTON, ONTARIO

DRAWING SHEET TITLE:  
SITE PLAN

DRAWING SCALE: As indicated  
PROJECT NUMBER: 21020

DRAWN BY: Author  
CHECKED BY: Checker  
DRAWING SHEET NUMBER: A001