

AT GRADE SITE PLAN - SCALE 1:400

DEVELOPMENT STATISTICS		
Existing Zoning: "E-2/S-6" Multiple Dwellings (By-law No. 6593)		
Proposed Zoning: Mixed Use Medium Density (C5_) (By-law No. 05-200)		
Item	Required (C5_)	Proposed
Units	N/A	364 Units
Lot Area (min.)	N/A	5078.2 m ²
Height (max.)	22.0 m	12 storeys (Existing Residential Building)
Lot Width	N/A	154.82 m
Building Setback from a Streetline (Mohawk Rd)	3.0 m min.	2.94 m (Proposed Residential Building)
Min. Interior Side Yard	7.5 m	1.10 m to proposed parking podium stairwell entrance 17.09 m to proposed multiple dwelling
Building Setback from a Streetline (Upper Wellington St)	3.0 m min.	11.14 m (Existing Residential Building)
Min. Rear Yard (South)	7.5 m	8.24 m to proposed parking podium 17.06 m to existing multiple dwelling
Gross Floor Area (max.)	12,949.41 m ²	11,388.26 m ² (Proposed Residential Building)
Landscaped Open Space (min.)	40%	32%
Parking	351 spaces min.	Surface Parking = 149 spaces Podium Parking = 70 spaces U/G Parking = 168 spaces TOTAL = 387 spaces (1.06 / unit)

- GENERAL NOTES**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR AND CHIEF PLANNER OF THE PLANNING DIVISION, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
 - ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADE.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER PERMITS
 - RELOCATION SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE OF ADJUSTMENT
 - ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC ENGINEERING SECTION, TRANSPORTATION, OPERATIONS AND ENVIRONMENT DEPARTMENT.
 - METER BY METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET.
 - ALL SIGNS MUST COMPLY TO HAMILTON SIGN BY-LAW No. 10-197.

UNDERTAKING

RE: 150 MOHAWK ROAD EAST, HAMILTON

I, (WE) _____, THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION,

a) TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM.

b) TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(A) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____.

c) TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(B) OF THE SAID ACT, SHOWN ON THIS PLAN AND DRAWING(S), INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS; AND,

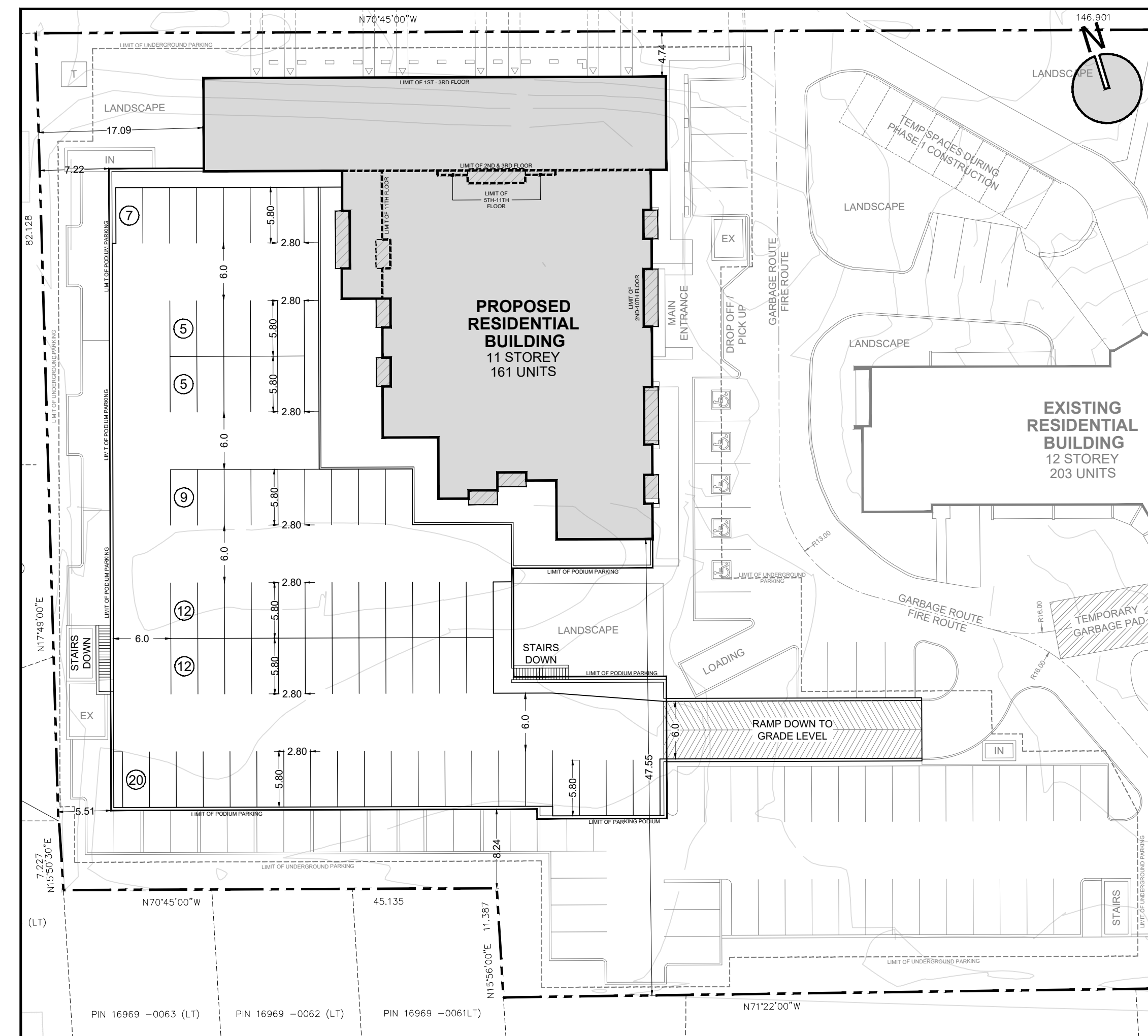
d) IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.

DATED THIS _____ DAY OF _____ 20____.

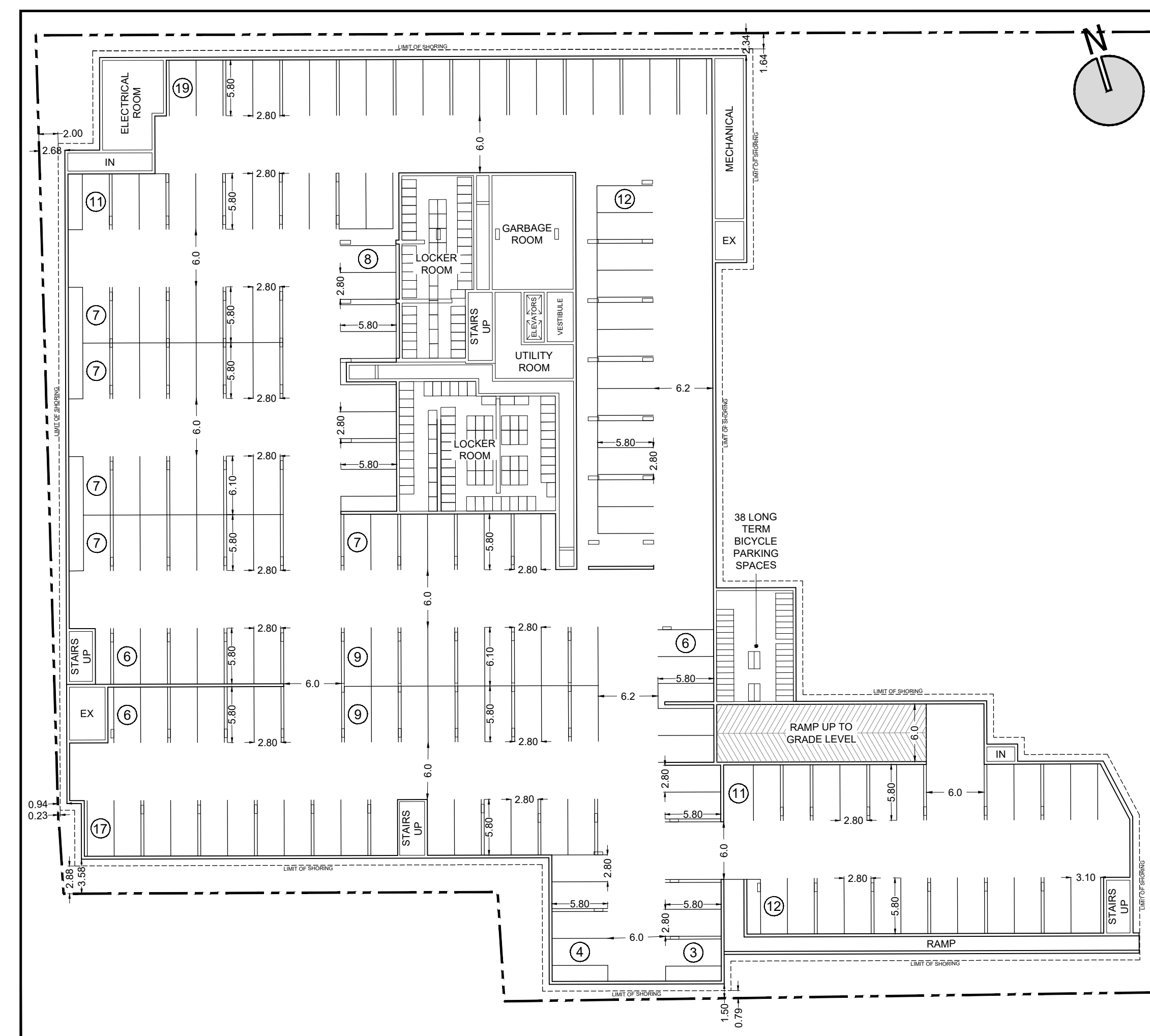
WITNESS (SIGNATURE) _____ OWNER (SIGNATURE) _____ (SEAL)

WITNESS (PRINT) _____ OWNER (PRINT) _____

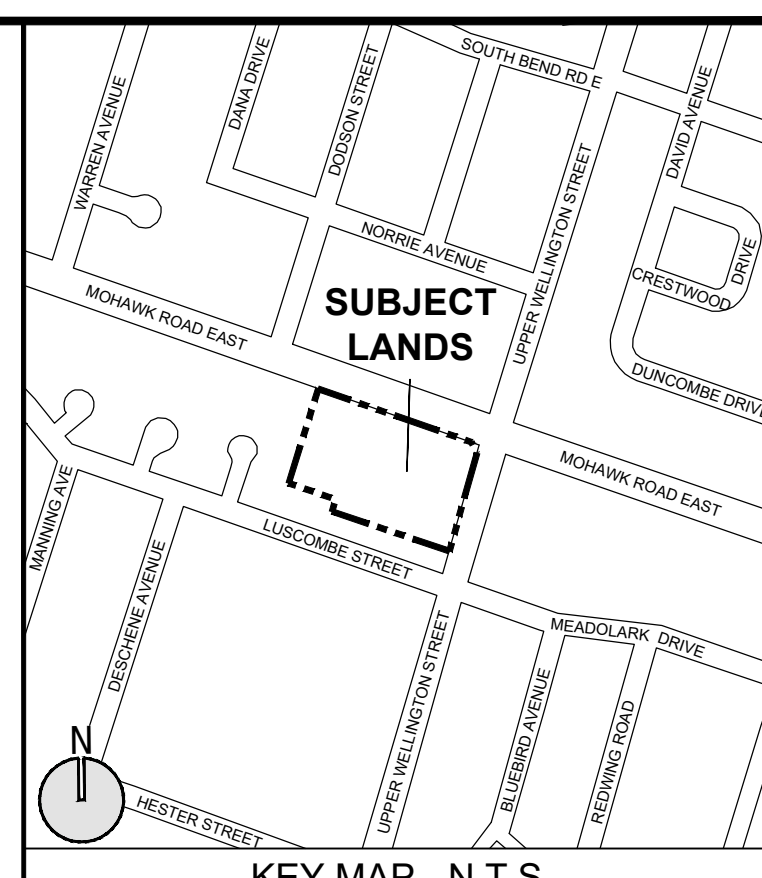
ADDRESS OF WITNESS _____



PODIUM PARKING - SCALE 1:400



UNDERGROUND PARKING - SCALE 1:400



PRELIMINARY SITE PLAN

LEGAL DESCRIPTION:
PART OF LOT 25 REGISTERED PLAN 900 AND OF PART OF LOT 13 CONCESSION 6 GEOGRAPHIC TOWNSHIP OF BARTON IN THE CITY OF HAMILTON

SCALE 1:400
METRES
0 5 10 20 30

- LEGEND:**
- SUBJECT LANDS
 - PROPOSED BUILDING
 - EXISTING BUILDING
 - LIMIT OF UNDERGROUND PARKING
 - CONCRETE WALKWAY
 - PRINCIPAL ENTRANCE
 - ENTRANCE / EXIT
 - PATIO
 - TRANSFORMER
 - EXHAUST
 - INTAKE

DESIGN BY: KNYMH ARCHITECTURE	CHECKED BY: M. JOHNSTON		
DRAWN BY: S. ERICKSON	DATE: JULY 25, 2022		
1	25/07/22	SE	ISSUED FOR OPA/ZBA SUBMISSION
NO.	DATE	BY	DESCRIPTION

NOT FOR CONSTRUCTION

APPROVALS

PREPARED BY:

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HAMILTON, ON L8L 0C8
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PROJECT: WELLINGTON SQUARE REDEVELOPMENT PHASE 2
150 MOHAWK ROAD EAST
CITY OF HAMILTON

CLIENT: EFFORT TRUST

U/S FILE NUMBER: 191-17 SHEET NUMBER: 1