



URBAN SOLUTIONS

PLANNING & LAND DEVELOPMENT



PLANNING JUSTIFICATION REPORT

**253 & 259 Limeridge Road West, Hamilton
Zoning By-law Amendment
Project No. 441-22**

Prepared for: Mr. Lei Zhao
By: UrbanSolutions Planning & Land Development Consultants Inc.

DECEMBER 2022

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1. Introduction

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) has been retained by Qianye Property Management Limited c/o Mr. Lei Zhao (Owner) to assist in the coordination and preparation of planning applications necessary to facilitate the redevelopment of the lands municipally known as 253 & 259 Limeridge Road West, Hamilton.

This Planning Justification Report (Report) has been prepared in support of a Zoning By-law Amendment to facilitate the proposed development of three townhouse blocks containing 23 dwelling units and 53 parking spaces. A detailed description of the proposed development is outlined in Section 2 of this Report.

This application and its supporting materials have been submitted in accordance with the Formal Consultation Document (City File No. FC-22-107) dated October 4, 2022 and constitute a complete application as described in Section 43 (10) of the *Planning Act*.

This Report provides planning analysis and justification in support of the proposed development in accordance with good planning principles. The purpose of this Report is to provide an overview of the subject lands, an outline of the proposed development, and an evaluation of the proposal in the context of the Provincial Policy Statement (2020), the Growth Plan for the Greater Golden Horseshoe (2020), the Urban Hamilton Official Plan, and the former City of Hamilton Zoning By-law No. 6593. This Report also provides an overview of the studies that have been completed in support of the application.

1.1 Location

The subject site is located directly north of the Lincoln M. Alexander Parkway in the Rolston Neighbourhood, within Ward 8 of the City of Hamilton. The lands are generally rectangular in shape and are comprised of two lots – 253 and 259 Limeridge Road West. The subject property has +/- 53. metres of frontage along Limeridge Road West and is approximately 0.49 hectares (1.22 acres) in size.

1.2 Site Description and Surrounding Context

Both 253 and 259 Limeridge Road West are currently occupied by single-detached dwellings with rear yard accessory structures, as shown in Figure 1.

A variety of densities, built forms, and land uses surround the subject lands as shown in Figure 2 and outlined below:

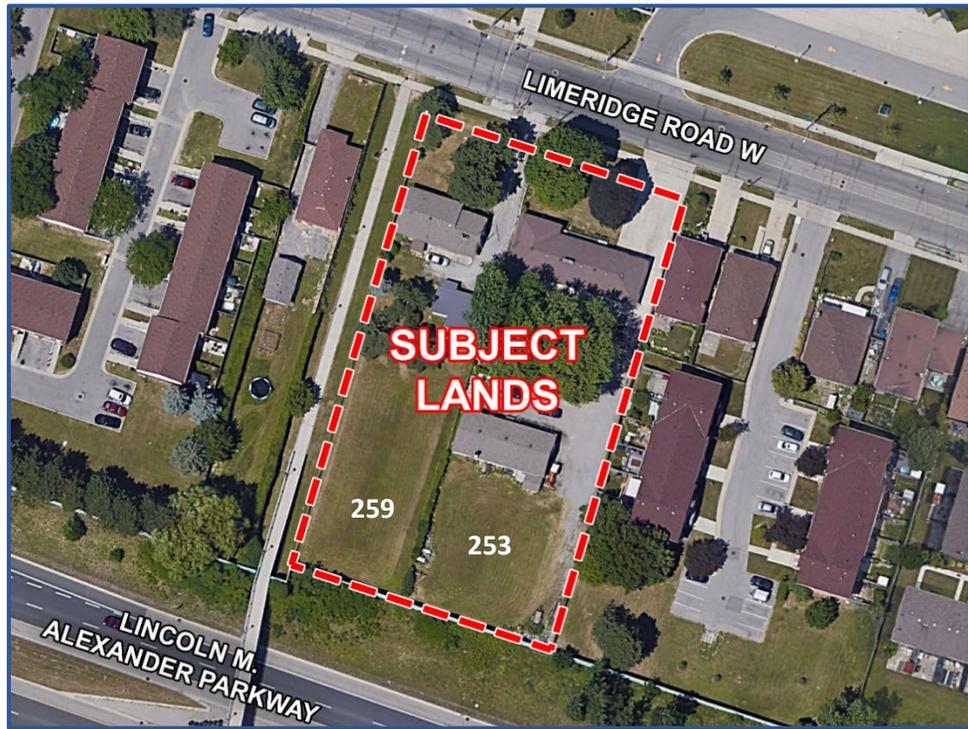


Figure 1 – Subject Property

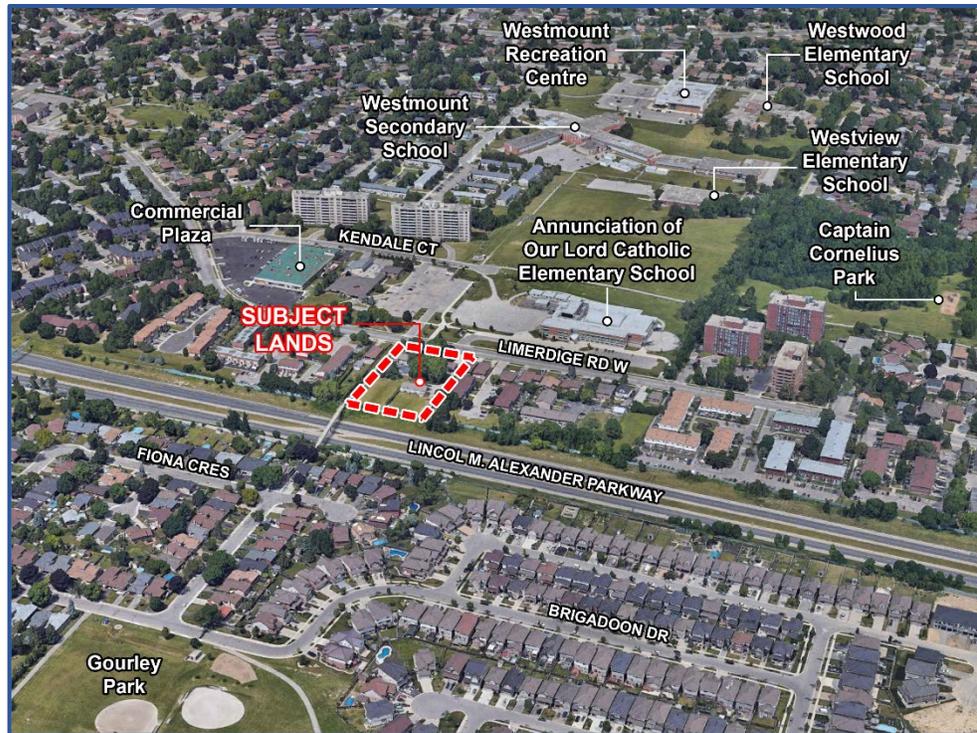


Figure 2 – Subject Lands & Neighbourhood Context



North: Abutting the site's northern boundary is the Annunciation of our Lord Catholic Elementary School.



Northeast: Abutting the subject site to the northeast are the properties municipally known as 243 and 247 Limeridge Road West, both of which are occupied by single detached dwellings.



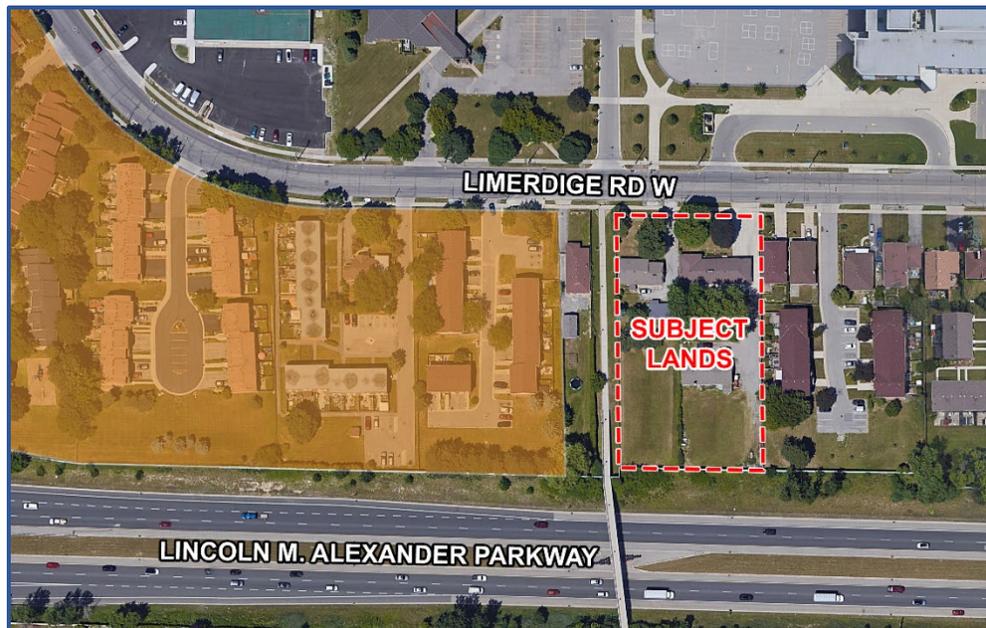
Southeast: Abutting the subject site to the southeast is the property municipally known as 241 Limeridge Road West, which is developed with thirteen (13) townhouse dwellings. Further east is the property municipally known as 221 Limeridge Road West, which is occupied by ten (10) townhouse dwellings.



South: To the south of the subject lands is the Lincoln M. Alexander Parkway (at a lower elevation), separated by an existing noise barrier.



West: Directly west of the subject site is the Lincoln M Alexander Pedestrian Crossing, beyond which is a single detached dwelling at 261 Limeridge Road West.



Further west is a series of properties developed with townhouse dwellings similar in nature and scale to the proposed development.

1.3 Application History

On September 7, 2022, a Formal Consultation (FC-22-107) meeting was held with City staff to confirm the required approval process to accommodate future development. This process represents an important milestone as it is required by

the *Planning Act* as the first step in the planning application process and allows City staff to identify any potential issues that may need to be addressed, including standards and expectations for an application, and to receive preliminary feedback on the proposal. Following this meeting, a Formal Consultation Document was issued by the City of Hamilton dated November 4, 2022. More information on this process can be found in Section 6 of this Report.

On November 4, 2022, the Ministry of Municipal Affairs and Housing adopted the updated Urban Hamilton Official Plan which contains amendments to a variety of existing policies. One of the notable changes made to the UHOP was the removal of density limits for the Neighbourhoods designation for which the subject lands reside. As a result of this policy change, the Formal Consultation Document obtained prior to UHOP Amendment No. 167 identifies an Official Plan Amendment as a requirement to facilitate the proposed density of the subject development, however, this is no longer required. As such, this report has been adjusted to solely contemplate the required Zoning By-law Amendment.

1.4 Transportation Context

Limeridge Road West is classified as a “Collector” road in Schedule C – Functional Road Classification of the Urban Hamilton Official Plan, as outlined in Figure 3. Limeridge Road West is a two way, two lane street with sidewalks on the north and south side.

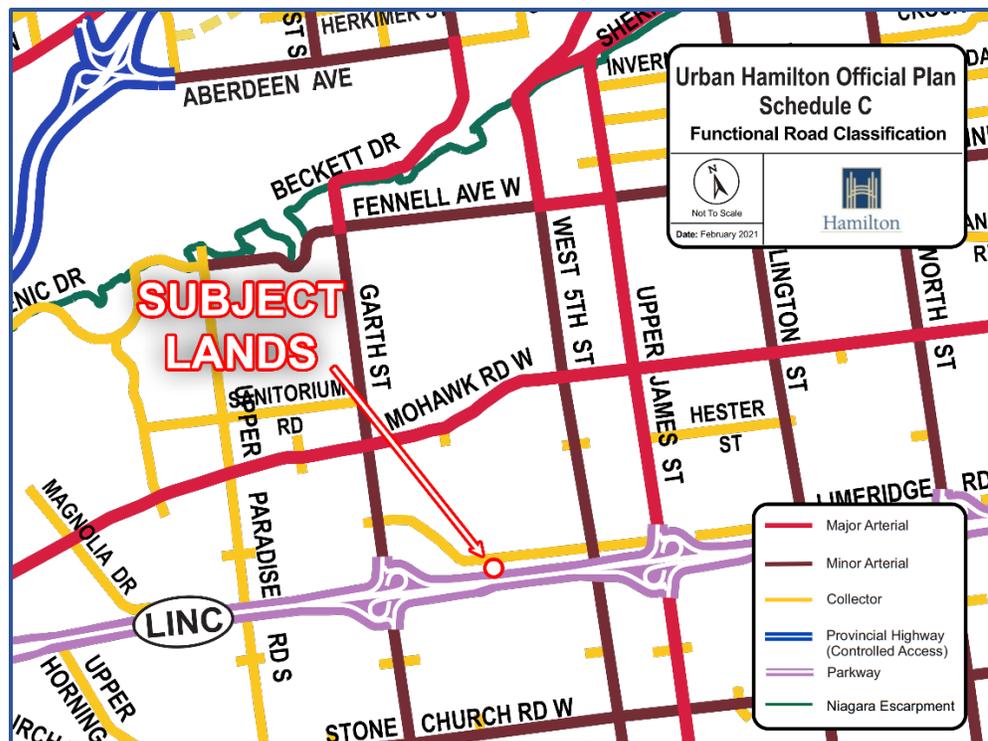


Figure 3 – Urban Hamilton Official Plan Schedule C - Functional Road Classification

As outlined in Figure 4, The subject site is located along the existing HSR Route 35 and is within +/- 60 metres of three stops along Limeridge Road West. Route 35 – College operates seven days a week from the early morning until after midnight and stretches from the Frank A. Cooke Terminal to St. Elizabeth Village.

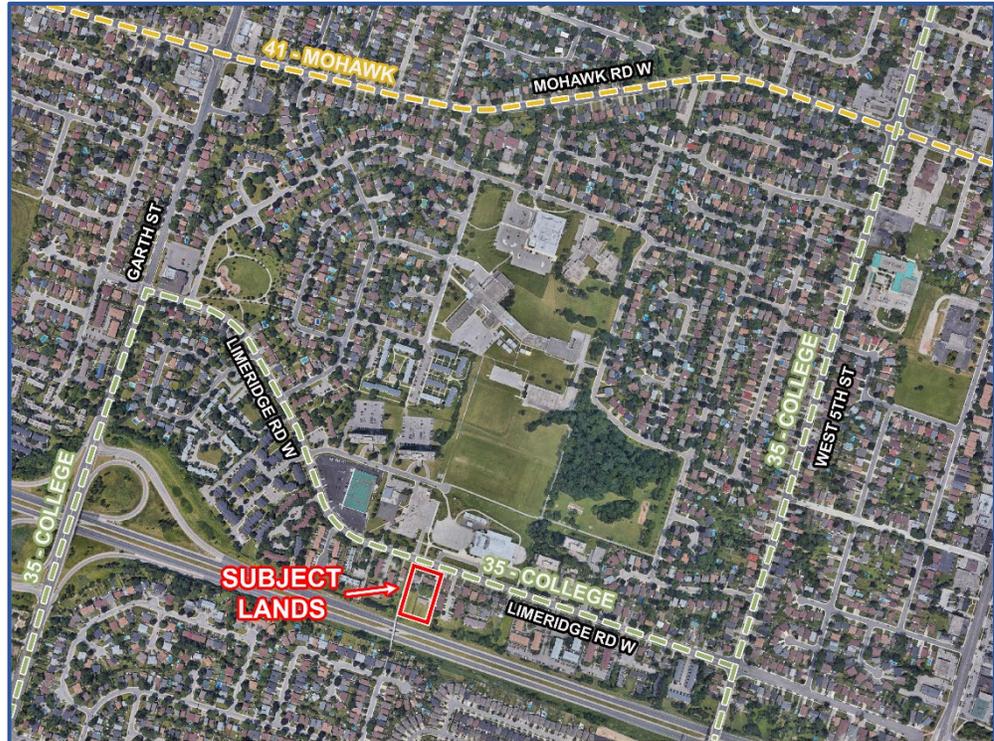


Figure 4 – HSR Route Map

2. Proposed Development

The proposed development consists of twenty three (23), 3-storey townhouse dwelling units in the form of two (2) eight (8) unit blocks one (1) seven (7) unit block. To accommodate the proposal, 46 resident parking spaces (within driveways and attached garages) and seven (7) visitor spaces contained on a surface lot have been provided. A detailed Concept Plan can be found in Appendix A of this Report.

2.1 Planning Applications

As previously noted, the proposed development concept was first presented via Formal Consultation No. FC-22-107. The subsequent Formal Consultation Document received from City staff confirmed the studies, plans, and reports that are required to be submitted in support of a “complete” application as per the *Planning Act*. In addition to this Planning Justification Report, the following materials are required:

- Application Form
- Cover Letter
- Required Fees
- Survey Plan
- Concept Plan
- Draft By-laws
- Urban Design Report
- Archaeological Assessment
- Preliminary Landscape Plan
- Tree Management Plan
- Tree Protection Plan
- Preliminary Grading Plan
- Stormwater Management Report/Plan
- Functional Servicing Report
- Noise Impact Study
- Public Consultation Strategy
- Watermain Hydraulic Analysis
- Site Servicing Plan
- Pre- & Post-Development Storm Drainage Area Plans
- Adequate Water Services

2.2 Required Approvals

The Formal Consultation Document (FC-22-107) received from City Staff confirms that approval of the following applications would be required to facilitate the proposed development of the subject lands:

- An Official Plan Amendment
- A Zoning By-law Amendment
- A Plan of Condominium
- A Site Plan Application

As previously noted, the Minister of Municipal Affairs and Housing adopted the updated Urban Hamilton Official Plan on November 4, 2022, which among other changes, had the effect of removing density requirements on an individual site basis within the neighbourhoods designation. As such, the Official Plan Amendment identified in the Formal Consultation Document is no longer required. As proposed, the development of 23 townhouse dwelling units results in a net residential density of 47 units per hectare, which failed to meet the minimum density requirement of 60 units per hectare prescribed to Medium Density Residential areas within the Neighbourhoods designation; as outlined in Chapter E, Section 3.5.6 of the previous version of the UHOP. Accordingly, this Report along with the enclosed submission package has been prepared in support of a Zoning By-law Amendment only.

The purpose of the Zoning By-law Amendment is to rezone the subject lands from “AA” (Agricultural District) to a site specific “RT-10/S__” District, Modified in the

Former City of Hamilton Zoning By-law No. 6593. The Draft Zoning By-law Amendment is contained within Appendix B of this Report.

A future Site Plan application submission will be required to implement the detailed design of the Concept selected for the proposed development.

A future Draft Plan of Standard Condominium application may be submitted to establish the tenure of the proposed townhouse dwellings.

3. Supporting Studies

In addition to this Planning Justification Report, the required studies have been completed in support of this proposal. The following is intended to provide a summary of the findings of each study.

3.1 Urban Design Brief

The Urban Design Brief dated December 2022 was prepared by Whitehouse Urban Design. The Brief concludes that the design complies with the policies of the Urban Hamilton Official Plan and creates a context-sensitive residential community that contributes to the overall connectivity to the existing neighbourhood. Further, the Brief concludes that the proposed landscape design creates safe, attractive, inviting streetscapes while providing seasonal interest and buffering where needed.

3.2 Archaeological Assessment

Parslow Heritage Consultancy Inc. (PHC) conducted a Stage 1 and 2 Archaeological Assessment of the subject lands. In their Report, PHC concludes that no archaeological material was encountered during the Stage 2 Assessment; and therefore, further archaeological assessment is required.

3.3 Tree Protection/Management Plan

Whitehouse Urban Design prepared the Tree Protection Plan dated December 12, 2022. The Report summarizes the status of existing trees and provides recommendations for tree management in the public and private realm. Given the extent of the proposed development, 16 of the 18 trees identified on site are proposed to be removed. As per Section 3.4 of the Urban Design Brief prepared by Whitehouse Urban Design in support of this application, a Landscape Plan in support of a future Site Plan submission will include a variety of deciduous and coniferous shrubs and trees to create a healthy and diverse landscape environment on site.

3.4 Functional Servicing Report

A Functional Servicing Report inclusive of a Stormwater Management Plan dated December 19, 2022 was prepared by LandSmith Engineering and Consulting Limited (LandSmith). The Report concludes that the subject lands can be developed in accordance with municipal standards. Water servicing can be adequately provided through connection to the adjacent 200mm watermain along Limeridge Road West, sanitary servicing can be provided from the available sanitary sewer located on Limeridge Road West, and the 250 mm diameter pipe has capacity to service the increased density. Further, stormwater runoff from the site may be connected to the local municipal 450 mm storm sewer on Limeridge Road West and quality control will be provided through the construction of a super-pipe storage feature controlled by a 190 mm orifice and a Stormceptor EF4 oil grit separation unit together with CB Shield placement with the site catch basins. In addition to the Functional Servicing Report, LandSmith also prepared a preliminary Grading & Servicing Plan for the proposed development which demonstrates that stormwater flows are directed to the appropriate locations.

3.5 Noise Impact Study

A Noise Impact Study was prepared by dBA Acoustical Consultants Inc. dated December 2022. The Study confirmed that calculated daytime road noise levels at both the Plane of Window (POW) and Outdoor Living Areas (OLA) do not exceed 55 dBA, thus adhering to MECP criteria. The study also determined that calculated nighttime road noise levels at the POW exceed the 50 dBA MECP criteria for indoor spaces and recommends various noise control measures as mitigation. These include provisions for central air conditioning, appropriate STC-rating windows, and warning clauses within all offers and agreements of purchase and sale; all of which will be implemented at the Site Plan Control stage.

3.6 Watermain Hydraulic Analysis

A Watermain Hydraulic Analysis dated December 20, 2022 was prepared by C3 Water Inc. The Analysis concludes that under the proposed development conditions, the minimum available fire flow requirement of 150 L/s was achieved through the service connection and the existing hydrants on Limeridge Road West. Further, the service pressures under existing conditions and ultimate build out are expected to range from 61 psi to 82 psi which is below the maximum allowable operating pressure of 100 psi.

4. Planning Policy Framework

The following is intended to provide a review of the planning policy framework applicable to the subject property. These policy documents include the Provincial Policy Statement (2020), A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020), the Urban Hamilton Official Plan (UHOP), and the Former City of Hamilton Zoning By-law No 6593.

4.1 Provincial Policy Statement

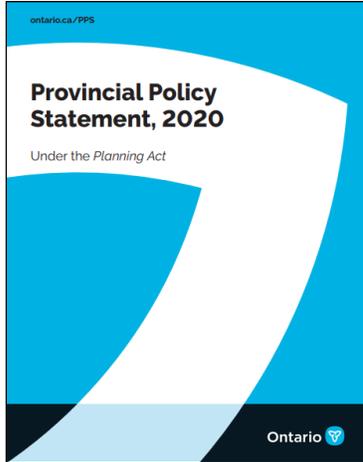
The Provincial Policy Statement (PPS) provides direction on matters of Provincial interest and sets the policy foundation for regulating land use planning and development in Ontario.

The PPS is issued under Section 3 of the *Planning Act*, with the most recent version coming into effect on May 1, 2020. Section 3 of the *Planning Act* requires that land use planning decisions be consistent with the PPS, ensuring that matters of provincial interest, as identified in Section 2 of the *Planning Act*, are addressed.

A key policy directive of the PPS is building strong communities by promoting efficient development and land use patterns. Section 1 of the PPS, “*Building Strong and Healthy Communities*”, outlines a set of supportive policies that encourage the development of sustainable communities by promoting livable, healthy, and resilient communities that protect both environment and public health and safety, while encouraging and supporting economic growth.

“1.1.1 Healthy, livable, and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;
- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization



- of transit investments, and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;
 - g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;
 - h) promoting development and land use patterns that conserve biodiversity; and
 - i) preparing for the regional and local impacts of a changing climate”

Policy 1.1.2 states that within settlement areas, sufficient land shall be made available to accommodate an appropriate range and mix of land uses through intensification, redevelopment, noting that within settlement areas, sufficient land shall be made available through *intensification* and *redevelopment*.

1.1.3 Settlement Areas

The PPS, 2020 has specific policies regarding settlement areas noting, among others, that:

“1.1.3.1 *Settlement areas* shall be the focus of growth and development, and their vitality and regeneration shall be promoted.”

“1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for *transit-supportive* development, accommodating a significant supply and range of housing options through *intensification* and *redevelopment* where this can be accommodated taking into account existing building stock or areas, including *brownfield sites*, and the availability of suitable existing or planned *infrastructure* and *public service facilities* required to accommodate projected needs.”

“1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.”

1.4 Housing

“1.4.3 Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by:

- a) planning establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households and which aligns with applicable housing and homelessness plans. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify

- a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;
- b) permitting and facilitating:
 - 1. all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities; and
 - 2. all types of residential intensification, including additional residential units, and redevelopment in accordance with policy 1.1.3.3;
- c) directing development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;
- d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed;
- e) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations; and
- f) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.”

1.6 Infrastructure and Public Service Facilities

Section 1.6 of the PPS provides policies related to Infrastructure and Public Service Facilities, specifically to ensure consideration for appropriate sewage, water, stormwater, transportation and waste management infrastructure is contemplated for all land development.

2.1 Natural Heritage

Section 2.1 of the Provincial Policy Statement contains policy direction related to the management and conservation of Natural Heritage features including wood lots, wetlands, linkages, wildlife habitats and other natural heritage systems. The general intent of Section 2.1 is to have regard for the above noted features during land development and site alteration.

2.6 Cultural Heritage and Archaeology

Similar to Section 2.1, Section 2.6 of the Provincial Policy Statement provides policy direction related to the management and conservation of Cultural Heritage and Archeological resources. Specifically to ensure consideration for built heritage

resources, cultural heritage landscapes and archaeological resources for all land development.

4.2 A Place to Grow: Growth Plan for the Greater Golden Horseshoe

The Greater Golden Horseshoe (GGH) is one of the fastest growing regions in North America. In order to accommodate such growth, the Province of Ontario adopted the Places to Grow – Growth Plan for the Greater Golden Horseshoe (Growth Plan) under the *Places to Grow Act, 2005*. This Plan provides the framework for implementing the Government of Ontario’s vision for building stronger, prosperous communities by better managing growth in the region to 2051. Section 5(b) of the *Planning Act* requires that decisions affecting planning matters shall conform to or shall not conflict with provincial plans, including the Growth Plan. Schedule 3 of the Growth Plan establishes population targets for the municipalities and regions of the Greater Golden Horseshoe. Specifically, Schedule 3 of the Growth Plan identifies a population target of 820,000 and 360,000 jobs for the City of Hamilton by the year 2051.

The vision for the GGH is found in the Guiding Principles of the Growth Plan, Section 1.2.1 and provides the basis for guiding decisions on how land is to develop. These principles include the following:

- Support the achievement of complete communities that are designed to support healthy and active living and meet people's needs for daily living throughout an entire lifetime.
- Prioritize intensification and higher densities to make efficient use of land and infrastructure and support transit viability.
- Provide flexibility to capitalize on new economic and employment opportunities as they emerge, while providing certainty for traditional industries, including resource-based sectors.
- Support a range and mix of housing options, including second units and affordable housing, to serve all sizes, incomes, and ages of households.
- Improve the integration of land use planning with planning and investment in infrastructure and public service facilities, including integrated service delivery through community hubs, by all levels of government.
- Provide for different approaches to manage growth that recognize the diversity of communities in the GGH.
- Protect and enhance natural heritage, hydrologic, and landform systems, features, and functions.
- Support and enhance the long-term viability and productivity of agriculture by protecting prime agricultural areas and the agri-food network.
- Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.
- Integrate climate change considerations into planning and managing growth such as planning for more resilient communities and infrastructure



– that are adaptive to the impacts of a changing climate – and moving towards low-carbon communities, with the long-term goal of net-zero communities, by incorporating approaches to reduce greenhouse gas emissions.

Section 2.2.1 of the Growth Plan provides policy direction as to where and how municipalities should grow:

- “4. Applying the policies of this Plan will support the achievement of *complete communities* that:
- a) Feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and *public service facilities*;
 - c) Provide a diverse range and mix of housing options ...;
 - d) Expand convenient access to:
 - i. A range of transportation options ...
 - ii. Public service facilities ...
 - iii. An appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other ...
 - e) Provide for a more compact built form and a vibrant public realm, including public open spaces;
- ...”

Section 2.2.2 Delineated Built-up Areas

- “1. By the time the next municipal comprehensive review is approved and in effect, and for each year thereafter, the applicable minimum intensification target is as follows:
- a) A minimum of 50 percent of all residential development occurring annually within each of the Cities of Barrie, Brantford, Guelph, Hamilton, Orillia, and Peterborough and the Regions of Durham, Halton, Niagara, Peel, Waterloo and York will be within the delineated built-up area”

Section 2.2.6 Housing

Section 2.2.6 of the Growth Plan provides policy to support housing choice through the achievement of minimum intensification and density targets. Additionally, Section 2.2.6 of the Growth Plan supports the achievement of complete communities through the provision of a diverse range and mix of housing options and densities.

- “2.2.6.1 Upper- and single-tier municipalities, in consultation with lower-tier municipalities, the Province, and other appropriate stakeholders, will:

- a) support housing choice through the achievement of the minimum intensification and density targets in this Plan, as well as the other policies of this Plan by:
 - i. identifying a diverse range and mix of housing options and densities, including additional residential units and affordable housing to meet projected needs of current and future residents; and,
 - ii. establishing targets for affordable ownership housing and rental housing;
 - iii.”

Section 3.2 Policies for Infrastructure to Support Growth

Section 3.2 of the Growth Plan speaks to infrastructure to support growth and contains policies related to transportation, infrastructure corridors, water and wastewater systems, stormwater management and public service facilities.

Section 4.2.2 Natural Heritage System

Section 4.2.2 of the Growth Plan sets out policy direction for protecting water resource systems, natural heritage systems, key hydrologic features, and the long-term ecological functions of those areas and features.

Section 4.2.7 Cultural Heritage Resources

Section 4.2.7 of the Growth plan contains policy regarding the conservation of cultural heritage features and wise use and management of cultural heritage resources.

Section 4.2.10 Climate Change

“1.

- a) supporting the achievement of complete communities as well as the minimum intensification and density targets in this Plan;
- b) reducing dependence on the automobile and supporting existing and planned transit and active transportation ...”

4.3 Urban Hamilton Official Plan

The City of Hamilton Official Plan (UHOP) was adopted by Council and received final approval from the Ontario Municipal Board on August 16, 2013. Further, UHOP Amendment No. 167 was issued by the Minister of Municipal Affairs and Housing on November 4, 2022, which contained map and policy changes that have varying impacts on all areas of the City. The UHOP is a guiding document which provides policies on community management, land use changes, and physical development in the City.



Hamilton

Urban Structure & Urban Land Use

Schedule E – Urban Structure and Schedule E-1 – Urban Land Use Designations of the UHOP apply the ‘Neighbourhoods’ designation to the subject lands. The ‘Neighbourhoods’ designation is intended to create complete communities and is planned to encompass a full range of residential dwelling types and densities, as well as supporting uses intended to serve local residents. Residential intensification is supported in the Neighbourhoods designation, provided it enhances and is compatible with the scale and character of existing development. The Neighbourhoods designation consists of residential uses and complementary facilities and services intended to serve the residents.

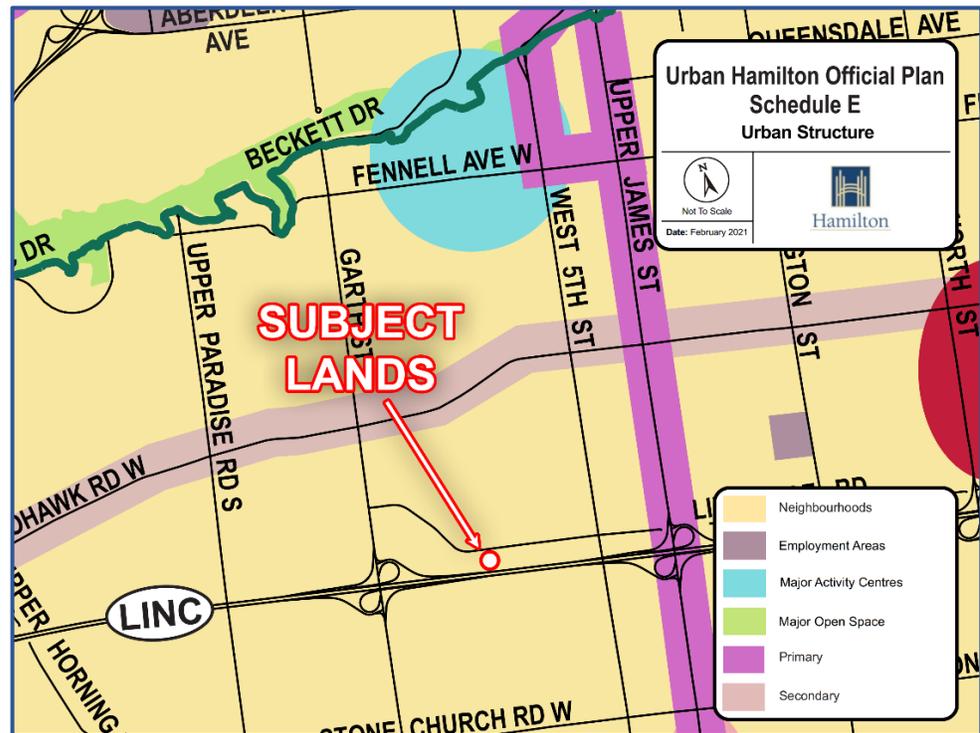


Figure 5 – Urban Hamilton Official Plan – Schedule E (Urban Structure)

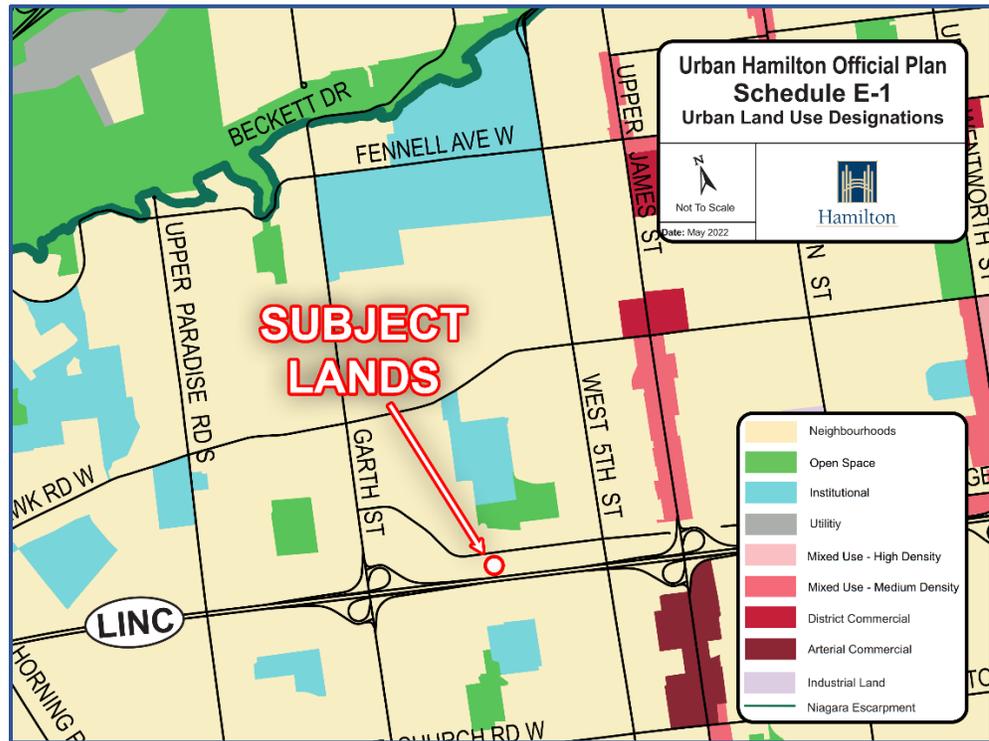


Figure 6 – Urban Hamilton Official Plan – Schedule E-1 (Urban Land Use)

Transportation

Schedule C – Functional Road Classification of the UHOP identifies Limeridge Road West as a “Collector” road. Schedule C-2 – Future Road Widening indicates that Limeridge Road West has a planned right-of-way width of 26.213 metres. The Formal Consultation Document does not identify any road widening dedications required to facilitate the proposed development.

4.4 Former City of Hamilton Zoning By-law No. 6593

The subject lands are located in the “AA” Agricultural District in the Former City of Hamilton Zoning By-law No. 6593, as shown in Figure 7 below.

Due to the nature of the proposed development and the applicable zoning noted above, a Zoning By-law Amendment is required to facilitate the proposal. The purpose of the amendment is to rezone the lands from the “AA” Agricultural District in Zoning By-law No. 6593 to “RT-10/S___” District, Modified”. Additionally, the proposed Zoning By-law Amendment will provide the necessary site-specific zoning provisions to facilitate the proposal. A copy of the Draft Zoning By-law Amendment can be found in Appendix B of this Report.

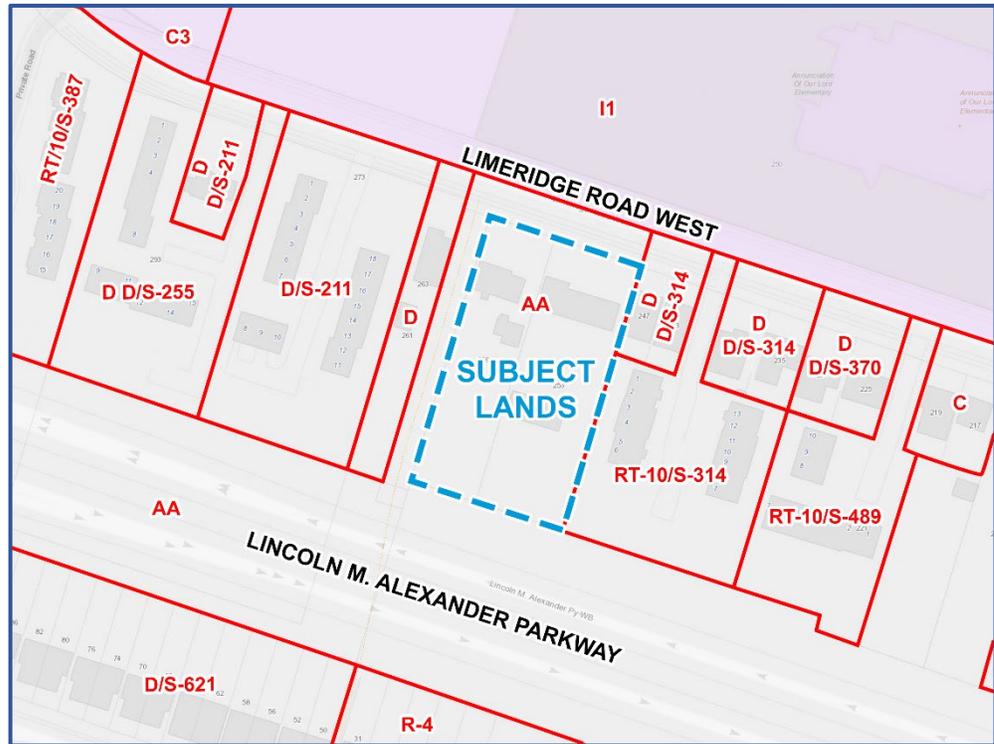


Figure 7 – Former City of Hamilton Zoning By-law No. 6593

5. Analysis

5.1 Policy Framework

When evaluating the merits of the proposed land use, it is appropriate to review the proposal against the upper-tier policy documents. In this instance, applicable documents include the Provincial Policy Statement and the Growth Plan for the Greater Golden Horseshoe, and the Urban Hamilton Official Plan.

Planning Act, 1990

Section 2 of the *Planning Act* identifies matters of provincial interest that approval authorities must have regard for when evaluating development proposals. They are as follows:

- a) the protection of ecological systems, including natural areas, features and functions;

Planning Comment: The subject lands do not contain any natural areas of features.

- b) the protection of the agricultural resources of the Province;

Planning Comment: The proposed development is located within the approved urban settlement boundary. As such, the development protects the agricultural resources of the Province.

- c) the conservation and management of natural resources and the mineral resource base;

Planning Comment: The proposed development does not adversely impact natural resources or the mineral resource base. As such, it has regard for these matters.

- d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

Planning Comment: The requirement for a Cultural Heritage Impact Assessment was not identified during the previous Formal Consultation (FC-22-107) process. Further, as identified in the Stage 1 and 2 Archaeological Assessment Report prepared by PHC, no material of archaeological significance was identified during the Stage 2 Assessment.

- e) the supply, efficient use and conservation of energy and water;

Planning Comment: As addressed in the Functional Servicing Report and Servicing Plans prepared by LandSmith, the proposed development has regard for the efficient supply, use, and conservation of energy and water.

- f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;

Planning Comment: The proposed development ensures the efficient use of communication, transportation, sewage and water services, and waste management systems. Further, the Functional Servicing Report prepared by LandSmith supports the development's provision of sewage and water services.

- g) the minimization of waste;

Planning Comment: The appropriateness of waste management systems provided will be secured through Conditions of Site Plan Approval.

- h) the orderly development of safe and healthy communities;

Planning Comment: Collectively, the Zoning By-law regulations and Conditions of Site Plan Approval ensure the proper and orderly development of the municipality.

- h.1) the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;

Planning Comment: Conditions of Site Plan Approval will ensure that pedestrian connections are AODA compliant, and the Ontario Building Code will ensure that best practices regarding accessibility are met for dwellings.

- i) the adequate provision and distribution of educational, health, social, cultural and recreational facilities;

Planning Comment: The subject lands are within the jurisdiction of the Hamilton Wentworth District School Board and the Hamilton Wentworth Catholic District School Board. These boards will be circulated on the Zoning By-law applications to evaluate school allocation.

- j) the adequate provision of a full range of housing, including affordable housing;

Planning Comment: The proposed development contributes to a range of dwelling types in the area, including 23 townhouse dwelling units as illustrated in the Concept Plan contained in Appendix A.

- k) the adequate provision of employment opportunities;

Planning Comment: N/A

- l) the protection of the financial and economic well-being of the Province and its municipalities;

Planning Comment: The proposed development supports the long-term economic prosperity of the Province by adding to the overall housing supply and contributing to a range of dwelling types within the area; thus, contributing to a diverse workforce. Once developed, the lands will contribute significantly more to the municipal tax base than the current underutilized parcel.

- m) the co-ordination of planning activities of public bodies;

Planning Comment: The comprehensive review of this application by the City of Hamilton ensures matters of provincial interest are accounted for and a coordinated approach of planning activities has been implemented.

- n) the resolution of planning conflicts involving public and private interests;

Planning Comment: N/A

- o) the protection of public health and safety;

Planning Comment: The proposed development is not anticipated to pose a threat to public health and safety.

- p) the appropriate location of growth and development;

Planning Comment: Schedule 3 of the Growth Plan establishes a population target of 820,000 for the City of Hamilton by the year 2051. Based on the subject property being located within the Urban Settlement Boundary for the municipality, the proposed development aids the City in achieving its growth target and implements appropriate intensification adjacent to built-up areas.

- q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;

Planning Comment: The proposed development has frontage along the existing road network of the neighbourhood, which is on an HSR public transit route and provides routes that are walkable and support active transportation.

- r) the promotion of built form that,
(i) is well-designed,
(ii) encourages a sense of place, and
(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;

Planning Comment: The proposed development offers a well designed, attractive pedestrian environment with provisions for greenspace and landscaping. The overall design and façade of the proposed dwellings is aesthetically pleasing and will aid in enhancing the streetscape along Limeridge Road West.

- s) the mitigation of greenhouse gas emissions and adaptation to a changing climate

Planning Comment: Multi-unit dwellings have been shown to require less energy and water per-resident, making them an integral part of the solution to address climate change. This will help to mitigate greenhouse gas emissions that will be produced and reduce the overall carbon footprint of the proposed development.

This proposal has regard for matters of Provincial interest, as identified in Part 2 of the *Planning Act*.

Provincial Policy Statement

Legislation states that *Planning Act* applications must be “consistent with” the Provincial Policy Statement.

This proposal contributes to the Province’s objective to accommodate an appropriate range and mix of land uses (Policy 1.1.1). The proposed residential development will assist with the objective of focusing growth and development in *settlement areas* (Policy 1.1.3) and is contributing to an appropriate range and mix of housing options and densities (Policy 1.4.1). The proposed Zoning By-law utilizes appropriate development standards that will facilitate intensification and compact built form (Policy 1.1.3.4). The proposed development also aids in providing housing stock to meet the City’s housing needs through the provision of 23 additional dwelling units to the area (Policy 1.4.3). The Stage 1 and 2 Archaeological Assessment Report prepared by PHC concludes that no archaeological material was encountered during the Stage 2 Assessment, thus ensuring that the objectives of Policy 2.6 are achieved. As shown on the Tree Protection Plan prepared by Whitehouse Urban Design and the lack of natural heritage resources identified by the City during Formal Consultation, the proposed development satisfied Policy 2.1. Further, the Functional Servicing Report prepared by LandSmith confirms the proposed development can be adequately serviced by the existing municipal servicing infrastructure (Policy 1.6).

This proposal is consistent with the Provincial Policy Statement.

Places to Grow – Growth Plan for the Greater Golden Horseshoe

The *Planning Act* states that decisions in respect of planning matters shall conform to applicable provincial plans, including the Places to Grow – Growth Plan for the Greater Golden Horseshoe.

The proposed development supports the Province’s aim to prioritize *intensification* and higher densities, to make efficient use of land and *infrastructure* and support transit viability.

The proposal supports the achievement of complete communities and higher densities to more efficiently utilize both land and infrastructure (2.2.1) while supporting public transit and active transportation; in line with the stated policies on climate change (4.2.10). The proposed development aids the municipality in achieving the intensification target of at least 50% of growth to be accommodated within the delineated built-up area (2.2.2). The proposed built form supports the creation of complete communities by contributing to a range of dwelling types and densities in the area (2.2.6). The proposal also contributes to a range and mix of housing types and densities in the area to meet the projected needs of current and future residents (2.2.6.a.i). As outlined in the Functional Servicing Report prepared by LandSmith, the proposed development can be adequately accommodated by existing municipal servicing infrastructure (3.2). As no natural heritage features or linkages were identified by the City during Formal Consultation, the proposal does not produce any adverse impacts from a natural heritage perspective (4.2.2). As outlined in the Stage 1 and 2 Archaeological Assessment Report prepared by PHC, no archaeological materials were identified during the Stage 2 Assessment (4.2.7).

It is our (UrbanSolutions') opinion that the proposed development is in conformity with the Growth Plan and therefore, the proposed use has regard for matters of provincial interest as identified in the *Planning Act*.

Further to the policy analysis captured in Section 4 of this Report, the following is an analysis of the policy framework related to the Concept Plan and necessity for a Zoning By-law Amendment submission.

Urban Hamilton Official Plan (UHOP)

The UHOP provides direction and guidance on the management of communities, land use change, and physical development over the next 30 years. As an amendment to the Zoning By-law is required to permit the proposal, the UHOP provides the framework for evaluating this amendment.

To achieve the City's projected population growth, Section B.2.4.1 of the Plan contains policy direction for residential intensification. More specifically, Section B.2.4.1.3 states that lands within the Neighbourhoods designation are intended to accommodate 40% of the City's residential intensification target. As such, the proposed development assists in the achievement of this objective.

Further, Section B.2.4.1.4 provides criteria to evaluate residential intensification developments. As proposed, and as outlined in this Planning Justification Report, the Urban Design Brief prepared by Whitehouse Urban Design and the Functional Servicing Report prepared by LandSmith, the proposed development satisfies the criteria contained in Section B.2.4.1.4(a-g).

“B.2.4.1.4 Residential intensification developments shall be evaluated based on the following criteria:

- a) a balanced evaluation of the criteria in b) through g) as follows;

Planning Comment: The proposed development balances and addresses the evaluation of the criteria contained in the policies below.

- b) the relationship of the proposal to existing neighbourhood character so that it maintains, and where possible, enhances and builds upon desirable established patterns and built form;

Planning Comment: The proposed development has been designed to be compatible with the existing character and function of the neighbourhood. The development has been designed to respect the character, scale, and appearance of the surrounding area which is characterized by a varied range of densities and built forms inclusive of ground-related dwellings and apartment buildings. The proposal enhances the character of the area by further optimizing an under-utilized parcel and contributing to a range and mix of housing types in the area. It builds upon established patterns and built forms within the area and compatibility with the townhouse developments located east and west of the subject lands along Limeridge Road West. Further, the proposed site design ensures the dwellings are appropriately positioned on site in relation to surrounding development and the streetscape along Limeridge Road West. As noted in the UHOP, the Neighbourhoods designation is intended to accommodate a mix of low, medium, and high-density residential buildings, which the proposed development will contribute to.

- c) the development’s contribution to maintaining and achieving a range of dwelling types and tenures;

Planning Comment: The neighbourhood is currently occupied by a varied mix of densities and built forms; predominantly single-detached, townhouse, and multiple dwellings. The proposed development will contribute to a range of housing types, densities, and tenures in the surrounding neighbourhood.

- d) the compatible integration of the development with the surrounding area in terms of use, scale, form, and character. In this regard, the City encourages the use of innovative and creative urban design techniques;

Planning Comment: The scale and form of the proposed development are regulated by the amending by-law to ensure an appropriate relationship is established between the proposed development and existing buildings nearby. The Urban Design Brief prepared by Whitehouse Urban Design demonstrates that the

architectural form of the proposed dwellings (i.e., traditional pitched roofs, partial cladding with brick, stone, and siding) creates a seamless transition from the surrounding community. Additionally, the proposal includes adequate setback distances from the proposed dwellings to the eastern and western property lines, as well as provisions for plantings and landscape buffering to mitigate the impact on surrounding properties.

- e) the development’s contribution to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;

Planning Comment: The Neighbourhoods designation is exemplified in the proposed development. This designation is intended to consist primarily of residential areas and complementary facilities containing a range of housing opportunities. This designation shall encourage a full range of housing forms, types, and tenure. The proposal fulfills the intent of this designation as it will contribute to the provision of a range of housing forms within the surrounding neighbourhood and is located in close proximity to an existing public transit route.

- f) infrastructure and transportation capacity; and

Planning Comment: Infrastructure and transportation impacts have been reviewed and assessed via the Transportation Impact Study, Transportation Demand Management Options Report, and Functional Servicing Report submitted in support of this application.

- g) the ability of the development to comply with all applicable policies.

Planning Comment: The proposed Zoning By-law Amendment is consistent with the Provincial Policy Statement and conforms to the Growth Plan as the development proposal represents an appropriate form of intensification within the built-up area. The proposed site-specific Zoning By-law supports the intent, goals, and objectives of the Neighbourhoods designation of the UHOP. Finally, the proposed amending Zoning By-law includes appropriate regulations and implements the general intent of the UHOP and City of Hamilton Zoning By-law No. 6593.

Section B.2.4.2 of the UHOP speaks to residential intensification within the Neighbourhoods designation.

“B.2.4.2.2 When considering an application for a residential intensification development within the Neighbourhoods designation, the following matters shall be evaluated:

- a) the matters listed in Policy B.2.4.1.4;

- b) compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic and other nuisance effects;
- c) the relationship of the proposed building(s) with the height, massing and scale of nearby residential buildings;
- d) the consideration of transitions in height and density to adjacent residential buildings;
- e) the relationship of the proposed lot(s) with the lot pattern and configuration of the neighbourhood;
- f) the provision of amenity space and the relationship to existing patterns of private and public amenity space;
- g) the ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks and building separations;
- h) the ability to complement the existing functions of the neighbourhood;
- i) the conservation of cultural heritage resources; and,
- j) infrastructure and transportation capacity and impacts.

Planning Comment: The proposed development ensures that matters listed in Section B.2.4.2.2 are appropriately considered and addressed. The subject lands abut a townhouse development to the southeast and are located in an area characterized by a range of heights and densities. As such, the proposed massing is in keeping with the built form of the surrounding neighbourhood. Adequate transition has been implemented through setbacks and landscaping requirements built into the amending by-law to ensure that matters of overlook and shadowing are minimized. Additionally, the proposed massing compliments the existing streetscape patterns and functions of the neighbourhood. No transportation capacity concerns were identified by Staff during the Formal Consultation (FC-22-107) process. Further, The Functional Servicing Report prepared by LandSmith confirms that the existing municipal infrastructure has adequate capacity to accommodate the proposed development. Further, as the Stage 1 and 2 Archaeological Assessment Report prepared by PHC confirms that no archaeological materials were encountered during the Stage 2 Assessment, the proposal contains no adverse impacts relating to Cultural Heritage.

Section B.3.2.4 of the UHOP provides general policies for urban housing. This proposal implements Policy B.2.4.2.2 which promotes the development of housing with a full range of support services throughout the City and encourages the City to give priority to development applications that meet documented unmet needs for housing tenure, affordability levels, or support services. As previously mentioned, this proposal will yield a form of housing representing higher residential densities than the single detached dwellings currently occupying the subject lands. As such, the proposed development will assist in the provision of a diverse range of housing, which in turn will support the creation of a diverse and healthy community.

The site is further evaluated against Section B.3.3 – Urban Design Policies of the UHOP to ensure compatible integration with surrounding land uses. The following specific policies related to Urban Design are applicable to the subject proposal:

“B.3.3.2.5 Places that are safe, accessible, connected and easy to navigate shall be created by using the following design applications, where appropriate:

- a) connecting buildings and spaces through an efficient, intuitive, and safe network of streets, roads, alleys, lanes, sidewalks and pathways;
- b) providing connections and access to all buildings and places for all users, regardless of age and physical ability;
- g) designing streets and promoting development that provides real and perceived safety for all users of the road network.

B.3.3.2.6 Where it has been determined through the policies of this Plan that compatibility with the surrounding area is desirable, new development and redevelopment should enhance the character of the existing environment by:

- a) Complementing and animating existing surroundings through building design and placement as well as through placement of pedestrian amenities;
- b) Respecting the existing cultural and natural heritage features of the existing environment by re-using, adapting, and incorporating existing characteristics;
- d) Complementing the existing massing patterns, rhythm, character, colour and surrounding context;

- e) Encouraging a harmonious and compatible approach to infilling by minimizing the impacts of shadowing and maximizing light to adjacent properties and the public realm

B.3.3.3.2 New development shall be designed to minimize impact on neighbourhood buildings and public spaces by:

- a) creating transitions in scale to neighbouring buildings;
- b) ensuring adequate privacy and sunlight to neighbouring properties;

...

B.3.3.3.5 Built form shall create comfortable pedestrian environments by:

- a) Locating principal facades and primary building entrances parallel to and as close to the street as possible;
- ...
- c) Including a quality landscape edge along frontages where buildings are set back from the street;
- d) locating surface parking to the sides or rear of sites or buildings, where appropriate;
- ..."

Planning Comment: The proposed development includes pedestrian connections to the municipal sidewalk along Limeridge Road West. Three existing Route 35 HSR transit stops are located within +/- 60 metres east and west of the subject lands' frontage along Limeridge Road West. As such, residents will be well connected to existing transit opportunities and are encouraged to use active forms of transportation to enhance connectivity.

The above-noted pedestrian amenities along with details such details like landscaping, lighting, and active frontages will yield increased animation of the existing streetscape along Limeridge Road West. Additionally, the proposed building materials, height, and setbacks will result in compatible character for this development within the context of the surrounding community. Additionally, parking will be accommodated within front driveways and garages, ensuring convenient access for all dwelling units.

The scale and form of the proposal are regulated by the amending by-law to ensure that an appropriate relationship is established between the proposed development and the existing neighbourhood dwellings in the site's immediate area.

The seven (7) proposed visitor parking spaces are located at the south end of the site, shielded from view along Limeridge Road West. Additionally, the existing single-detached dwellings adjacent east and west of the subject lands will be

buffered by an approximate 7 metre rear yard setback to ensure that there are no adverse impacts in terms of overlook or privacy.

The subject lands are comprised of two properties (253 & 259) with frontage along Limeridge Road West, a “Collector” road as defined in Schedule C – Functional Road Classification of the Urban Hamilton Official Plan.

As outlined in Section 4.3 of this Report, the UHOP applies a Neighbourhoods designation to the subject lands. The City of Hamilton strives to manage urban growth and development that is sustainable and recognizes a balance between the economy, the environment, and a community’s social needs. Section E.2.6 notes that the Neighbourhoods designation represents a key component of Hamilton’s Urban Structure and occupies the greatest proportion of the City, representing a mix of low, medium, and high-rise areas. The function of this designation is to primarily contain residential uses (2.6.3) and permit and provide the opportunity for a full range of housing forms, types, and tenure (2.6.4).

Section E.3.2 of the UHOP provides general policies for the scale and design of areas designated Neighbourhoods:

“E.3.2.7 The City shall require quality urban and architectural design. Development of lands within the Neighbourhoods designation shall be designed to be safe, efficient, pedestrian oriented, and attractive, and shall comply with the following criteria:

- a) New development on large sites shall support a grid system of streets of pedestrian scale, short blocks, street oriented structures, and a safe and attractive public realm.
- b) Garages, parking areas, and driveways along the public street shall not be dominant. Surface parking between a building and a public street (excluding a public alleyway) shall be minimized;
- c) Adequate and direct pedestrian access and linkages to community facilities/services and local commercial uses shall be provided;
- d) Development shall improve existing landscape features and overall landscape character of the surrounding area.
- e) Development shall comply with Section B.3.3 – Urban Design Policies and all other applicable policies.”

Section E.3.5 of the UHOP provides policies on Medium Density Residential areas noting that these are characterized by multiple dwelling forms on the periphery of neighbourhoods in proximity to major or minor arterial roads, or within the interior of neighbourhoods fronting on collector roads. Further, while the previous version of the UHOP prescribed a maximum residential density of 100 units per hectare for this designation, UHOPA No. 167 had the effect of removing all density requirements on an individual site basis. Section E.3.5.9.B encourages development in areas dominated by medium density residential uses to be designed to integrate with other lands within the Neighbourhoods designation with respect to density, design, and physical and functional considerations.

Planning Comment: The proposed development features pedestrian connections to the municipal sidewalk along Limeridge Road West. Landscaping will be secured at the Site Plan stage and will serve to create an attractive streetscape along Limeridge Road West enhancing the existing landscape character of the area.

A total of 46 parking spaces allocated to residents will be located within front driveways and attached garages as shown in the Concept Plan contained in Appendix A. Further, the seven (7) proposed visitor parking spaces will be screened from Limeridge Road West by the two proposed eight-unit blocks facing inward on site.

The proposed 3-storey townhouse dwellings will contribute to a mix of dwelling unit types within the area that are context-sensitive to the existing neighbourhood and streetscape. The proposed development provides cohesiveness with the surrounding community through the implementation of pedestrian connections, landscape buffering, and active frontages that address the street.

The scale of this proposal is regulated by the amending by-law to ensure an appropriate relationship is established between the proposed development and its surrounding uses. Further, the built form of the proposed dwellings is comparable to those of surrounding uses, which are primarily comprised of single-detached, townhouse, and multiple dwellings to the east; single detached and townhouse dwellings to the west; and institutional uses to the north across Limeridge Road West. Additionally, the scale of the proposed townhouse dwelling blocks is compatible with the surrounding lands and existing lot fabric.

“... E.3.5.9 Development within the medium density residential category shall be evaluated on the basis of the following criteria:

- a) Developments should have direct access to a collector or major or minor arterial road. If direct access to such a road is not possible, the development may gain access to the collector or major or minor arterial roads from a local road only if a small number of low density residential dwellings are located on that portion of the local road.

Planning Comment: The subject lands have frontage along Limeridge Road West, a ‘Collector’ Road as identified in Schedule C – Functional Road Classification of the UHOP.

- b) Development shall be integrated with other lands in the Neighbourhoods designation with respect to density, design, and physical and functional considerations.

Planning Comment: The proposed development is in keeping with surrounding built forms in terms of use, scale, density, and design.

- c) Development shall be comprised of sites of suitable size and provide adequate landscaping, amenity features, on-site parking, and buffering if required. The height, massing, and arrangement of buildings and structures shall be compatible with existing and future uses in the surrounding area.

Planning Comment: As illustrated in the Urban Design Brief prepared by Whitehouse Urban Design, The proposed landscape design creates safe, attractive, inviting streetscapes, while providing seasonal interest and buffering where needed. The Brief also concludes that the architectural form and design of the proposed dwellings compliments that of the surrounding neighbourhood while creating a unique and attractive new rhythm.

- d) Access to the property shall be designed to minimize conflicts between traffic and pedestrians both on-site and on surrounding streets.

Planning Comment: Access to the property will be provided from Limeridge Road West. Further, the proposed concrete sidewalk will connect the site to the existing public sidewalk along the south side of Limeridge Road West, thus minimizing potential conflicts between pedestrians and vehicular traffic. It should also be noted that no concerns regarding traffic capacity were raised during the Formal Consultation (FC-22-107) process, and the requirement for a Transportation Impact Study was not identified in the Formal Consultation Document.

- e) The City may require studies, in accordance with Chapter F – Implementation Policies, completed to the satisfaction of the City, to demonstrate that the height, orientation, design, and massing of a building or

structure shall not unduly overshadow, block light, or result in the loss of privacy of adjacent residential uses.

5.2 Regulations

The proposed development requires an amendment to the Former City of Hamilton Zoning By-law No. 6593. The subject lands will be removed from the Agricultural “AA” District and placed in a new site-specific Townhouse “RT-10/S___” District, Modified in Zoning By-law No. 6593. Site-specific regulations have been included in the draft amending by-law to permit the alterations and proposed development. The following provides an analysis of the proposed zoning regulations.

Front Yard Setback

The amending by-law establishes a minimum front yard setback of 3.5 metres to the proposed dwellings fronting Limeridge Road West whereas 6.0 metres is currently required for lands within the “RT-10” District. Please note, in response to Urban Design comments received through the Formal Consultation process, the front yard setback was increased from 1.8 metres to 3.5 metres. This setback is required to facilitate the layout and design of the proposed development whilst maximizing the number of housing units that the site can accommodate. Further, the proposed dwellings fronting Limeridge Road West have been designed in a manner that contributes to a more attractive public realm.

Side Yard Setback

The amending by-law establishes a minimum setback of 3.5 metres to a townhouse dwelling containing windows to a habitable room facing yard that abuts any other lot, whereas 6.0 metres is currently required for lands within the “RT-10” District. This setback is required to facilitate the layout and design of the proposed development whilst maximizing the number of units the site can accommodate. Further, the subject site is separated from the neighbouring property to the west by a +/- 9.37 metre Lincoln M. Alexander Pedestrian Crossing; thus, mitigating potential concerns regarding intrusive overlook associated with the reduced setback. Similarly, the portion of the neighbouring property located directly east of the proposed townhouse block in question consists of +/- 20 metres of open space separating the lot line from a visitor parking lot. This along with provisions for landscape buffering will mitigate the impact of the reduced setback on neighboring properties to the east and west.

Landscape Open Space

The proposed by-law seeks to reduce the required landscaped open space from 50% to 35%. The urban infill context of the site warrants a reduction to the landscape open space proposed on the property in order to maximize the housing supply that can be offered to the community. The subject property is within approximately 800

metres or less of Captain Cornelius Park (+/- 7.13 hectares), Gourley Park (+/- 5.48 hectares), and Newlands Park (+/- 1.73 hectares). Cumulatively, these parks account for +/- 14.34 hectares of publicly accessible landscape open space that future residents can utilize for active and passive recreational purposes.

Parking Space Dimensions

The proposed by-law seeks to reduce the minimum required length for a parking space from 6.0 metres to 5.8 metres to accommodate the proposed visitor parking spaces located at the rear of the property. This is in keeping with the minimum required parking space dimensions established in Section 5 of Zoning By-law No. 05-200, which has become the standard for new developments throughout the City.

5. Conclusion

Qianye Property Management Limited c/o Mr. Lei Zhao is the registered owner of the subject lands municipally known as 253 & 259 Limeridge Road West, Hamilton. It is proposed that the existing single detached dwellings located on each property be demolished and replaced by a residential development, as described. This proposal has been reviewed against the applicable provincial and municipal policies, as well as the surrounding land use context. To facilitate the proposal, a Zoning By-law Amendment is required in addition to future Site Plan Control and Draft Plan of Condominium applications.

This Report provides planning analysis and justification of the proposed amendment, concluding that it is consistent *with* and conforms *to* the applicable planning policy framework listed below:

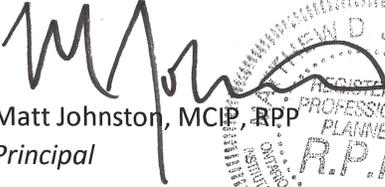
- The proposed Zoning By-law Amendment is consistent with the Provincial Policy Statement (2020);
- The proposed Zoning By-law Amendment conforms to the Growth Plan, as the proposed development represents an appropriate form of development within a built up area;
- The proposed site-specific Zoning By-law supports the intent, goals, and objectives of the Neighbourhoods – Medium Density Residential designation in the Urban Hamilton Official Plan; and
- The proposed Zoning By-law Amendment includes appropriate regulations and implements the general intent of the Urban Hamilton Official Plan.

Based on a review of the subject lands, surrounding uses, supporting studies, and applicable planning and policy framework, this application facilitates an appropriate form of development and represents good planning.

Respectfully submitted this 20th day of December, 2022.

Regards,

UrbanSolutions Planning & Land Development Consultants Inc.


Matt Johnston, MCIP, RPP
Principal




Matthew LeBlanc, MPL, BA (Hons)
Planner

I hereby certify that this Planning Justification Report was prepared by a Registered Professional Planner, within the meaning of the Ontario Professional Planners Institute Act, 1994.

This report has been prepared based on a review of the subject application and cannot be used for any other purpose.

Appendix A

Concept Plan

Appendix B

Draft Zoning By-law Amendment

CITY OF HAMILTON

BY-LAW NO. - ____

To Amend Zoning By-law No. 6593, Respecting Lands Located at 253 & 259 Limeridge Road West, in the City of Hamilton

WHEREAS the City of Hamilton Act, 1999, Statutes of Ontario, 1999 Chap. 14, Sch. C. did incorporate, as of January 1st, 2001, the municipality “City of Hamilton”;

AND WHEREAS the City of Hamilton is the successor to certain area municipalities, including the former area municipality known as “The Corporation of the City of Hamilton” and is the successor of the former Regional Municipality, namely “The Regional Municipality of Hamilton-Wentworth”;

AND WHEREAS the City of Hamilton Act, 1999, provides that the Zoning By-law and Official Plans of the former area municipalities and the Official Plan of the former regional municipality continue in force in the City of Hamilton until subsequently amended or repealed by the Council of the City of Hamilton;

AND WHEREAS Zoning By-law No. 6593 (Hamilton) was enacted on the 25th day of July 1950, which was approved by the Ontario Municipal Board by Order dated the 7th date of December 1951, (File. No. O.F. C. 3821);

AND WHEREAS the Council of the City of Hamilton, in adopting Item ____ of Report 23-____ of the Planning Committee at its meeting held on the ____ day of _____, 2023, recommended that Zoning By-law No. 6593 (Hamilton), be amended as hereinafter provided;

AND WHEREAS this By-law is in conformity with the Urban Hamilton Official Plan approved by the Minister under the Planning Act on March 16, 2011;

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. That Map No. ____ of Schedule “A” – Zoning Maps, to Zoning By-law No. 6593 is hereby further amended as follows:
 - (a) By rezoning the lands and boundaries of which are shown on Block No. 1 on Schedule “A” to this By-law from the “AA” (Agricultural District) to the “RT-10/S____” (Townhouse) District, Modified.
2. That Section 19B – Special Requirements of Zoning By-law No. 6593 is hereby amended by introducing the following within the lands described as 253 & 259 Limeridge Road West, as follows:
 - 2.1 That the “RT-10” (Townhouse) District regulations, as contained in Section 10D of Zoning By-law No. 6593, are modified to include the following special requirements for the lands zoned “RT-10/S____” (Townhouse) District, Modified:
 - (a) Notwithstanding Section 10D of Zoning By-law No. 6593, the following provisions shall apply to townhouse dwellings:
 - i. For the purpose of this By-law, Limeridge Road West shall be considered the front lot line

- ii. Notwithstanding Section 10D.(4)(a), the minimum permitted front yard setback to a structure 3-storeys in height shall be 3.5 metres
- iii. Notwithstanding Section 10D.(4)(b), where a yard abuts any other lot, the minimum permitted setback to a townhouse dwelling containing windows to a habitable room facing the yard shall be 3.5 metres
- iv. Notwithstanding Section 10D.(10), the minimum landscaped area shall be 35% of the lot area on which the buildings or structures are situated

(b) Notwithstanding Section 18A.(7) of Zoning By-law No. 6593, the following provision shall apply to lands zoned “RT-10/S___” (Townhouse) District, Modified:

- i. The minimum required length for a parking space shall be 5.8 metres

3. The By-law No. 6593 is amended by adding this by-law to Section ___ as Schedule “A”;

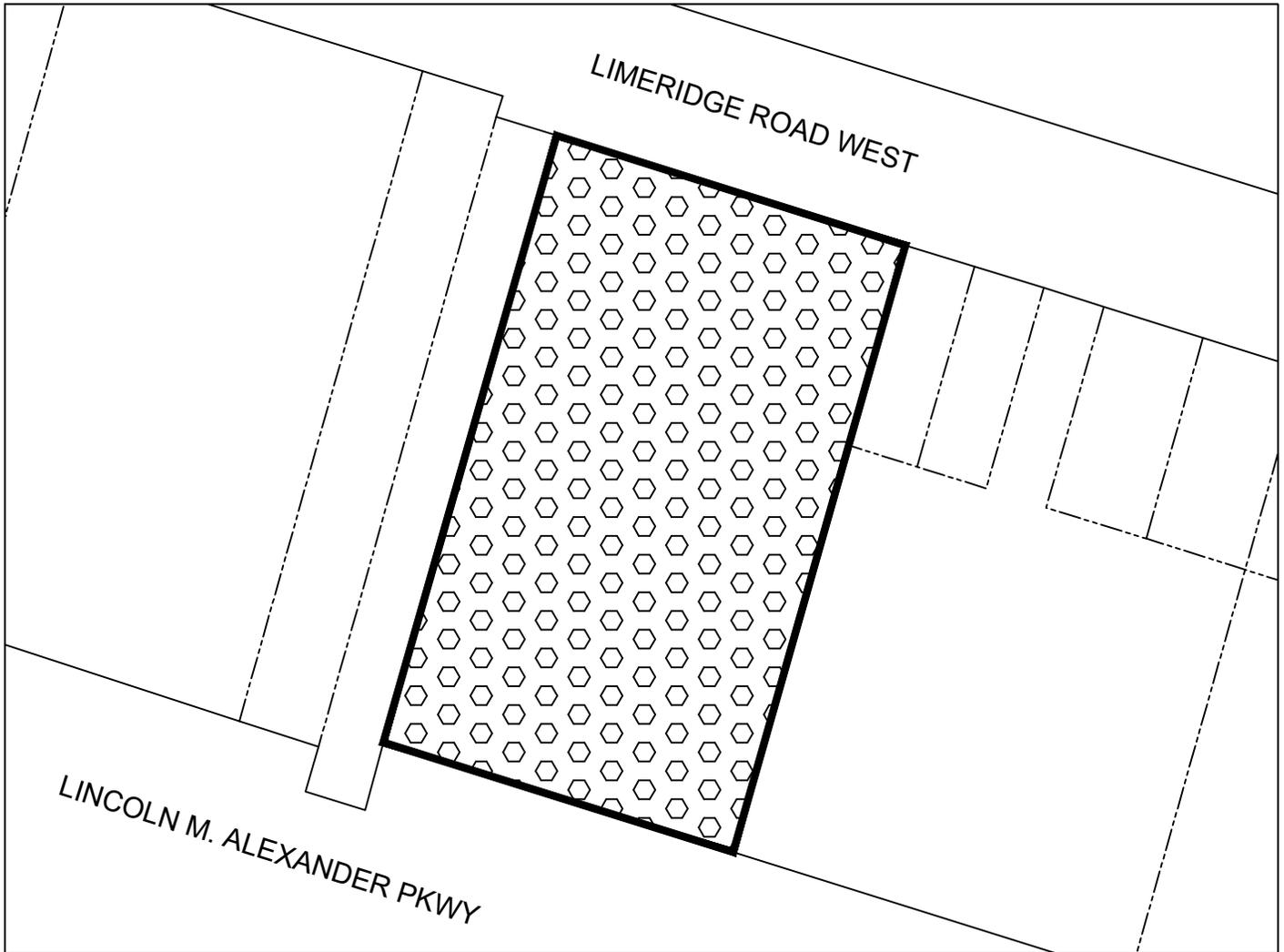
4. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law, in accordance with the *Planning Act*.

PASSED AND ENACTED this ____ day of _____, 2023.

Mayor

Clerk

ZAC-23- ____



This is Schedule "A" to By-law No.
23-_____

Passed the _____ day of _____, 2023

Clerk

Mayor

DRAFT Schedule "A"

Map Forming part of
By-law No. 6593
to Amend By-law No. 6593

Subject Property

253 & 259 Limeridge Road West, in the City of Hamilton.



Block 1 - Lands to be rezoned from "AA" (Agricultural District) to "RT-10/S__" (Townhouse District), Modified.

Scale: 1:1000

File Name/Number:

Date: December 15, 2022

Planner/Technician:

PLANNING AND ECONOMIC
DEVELOPMENT DEPARTMENT