



URBAN SOLUTIONS
PLANNING & LAND DEVELOPMENT



NEW HORIZON
DEVELOPMENT GROUP



Proposed Development

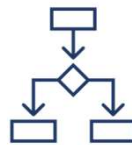
Official Plan and Zoning By-law Amendment Applications
499 Mohawk Road East, Hamilton

Owner: 499 Mohawk Inc. c/o New Horizon Development Group
Agent: UrbanSolutions Planning & Land Development Consultants Inc.
February 2nd, 2023



Purpose of Meeting

- To inform the public on the proposal details
- To inform the public of the planning and participation process
- To obtain feedback from the community to be considered as proposal evolves





Agenda

1. Format for the Neighbourhood Information Meeting
2. Overview of the subject lands
3. Detailed outline of current development proposal
4. Summary of the Planning Act application process
5. Question & Answer Period
6. End - 7:30PM





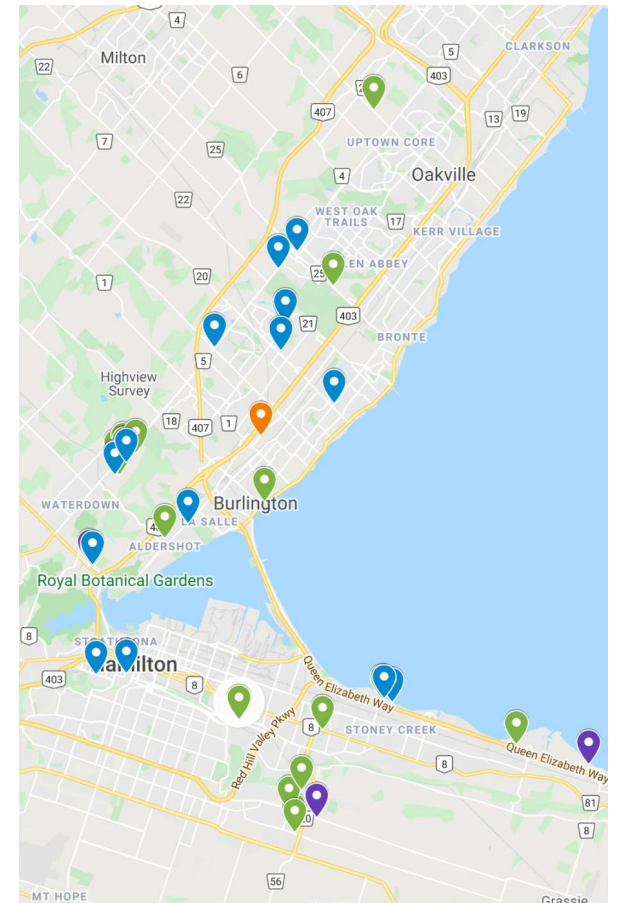
New Horizon Development Group



DEVELOPING COMMUNITIES IN THE GHA

Based in Burlington and established in 1993, New Horizon Development Group (NHDG) has built over 30 communities throughout the Greater Hamilton Area.

Through creative foresight and superior construction, we are committed to building new developments that will benefit the community and provide out clients with quality spaces and amenities to meet their current and evolving needs. Each home, community, or condo is distinct – winning admiration among developers by redefining suburban and urban living for residents.





New Horizon Development Group



A HISTORY OF SUSTAINABILITY

New Horizon Development Group (NHDG) is continually trying to find ways to further enrich the communities where they develop.

As the proud recipient of the inaugural “Builder of Canada’s Green Home of the Year” by the Canadian Home Builders’ Association, New Horizon Development Group (NHDG) is always mindful of its carbon footprint. The next generation of NHDG developments will strive to achieve LEED standards and will continue to carry NHDG forward as the leader in Geothermal Energy within mixed-use developments in the Greater Golden Horseshoe.





Subject Lands

- **Location:** 499 Mohawk Road East between Upper Sherman Avenue and East 27th Street in the Burkholme Neighbourhood
- **Size:** 3.95 ha (9.76 acres)
- **Current Use:** Lands were formerly a commercial strip mall containing a vacant grocery store and other commercial land uses





Surrounding Area

- **North:** Mix of 1- and 2-storey single detached dwellings, and Franklin Road Elementary School.
- **South:** 6- to 12-storey apartment buildings, 1- and 2-storey single and semi-detached dwellings.
- **East:** Mix of 1- and 2-storey single and semi-detached dwellings, 1- and 2-storey commercial land uses and the 6.96 hectare Macassa Park.
- **West:** 1- and 2-storey single and semi-detached dwellings, Burkholder United Cemetery and Church, Our Lady of Lourdes Catholic Elementary School, Fortinos Grocery Store and Limeridge Mall.



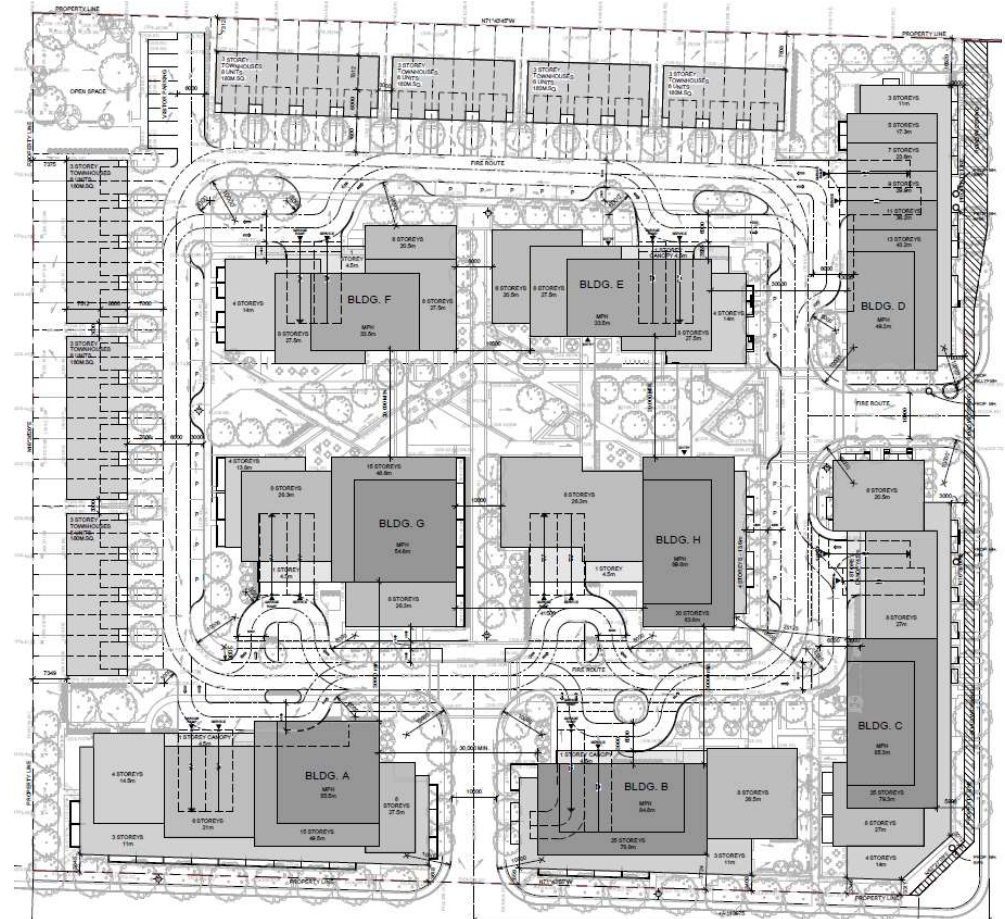


Proposed Development

- Two 25-storey multiple dwellings
- One 20-storey multiple dwelling
- Two 15-storey multiple dwellings
- One 13-storey multiple dwelling
- Two 8-storey multiple dwellings
- Seven 3-storey stacked townhouses

Total:

- 1995 residential units
- 1995 parking spaces
- 1,043 bicycle parking spaces





Development Components





Development Components





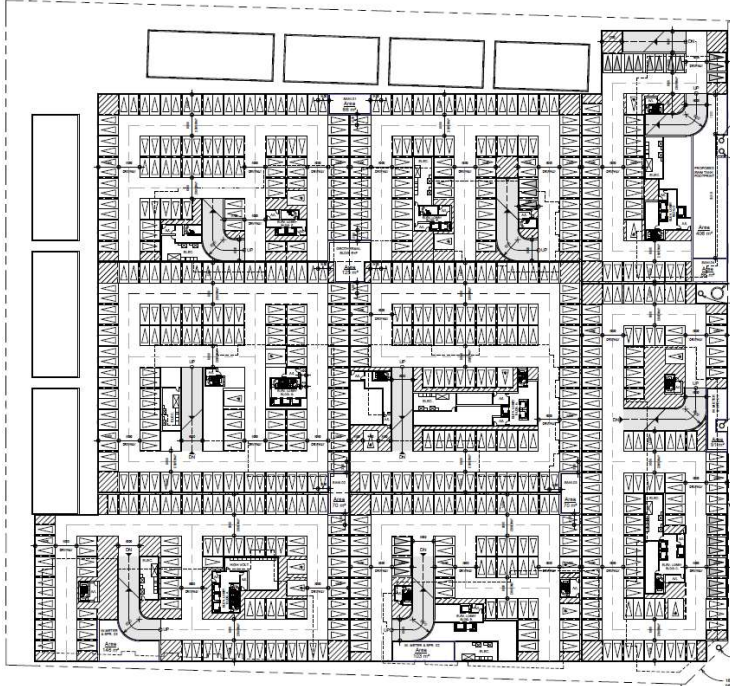
Development Components





Underground Parking

- 4 levels of Underground Parking
- 1995 parking spaces total (1.0 space/unit)
- 948 long-term bicycle parking spaces
- 95 short-term bicycle parking spaces





Landscape Plan

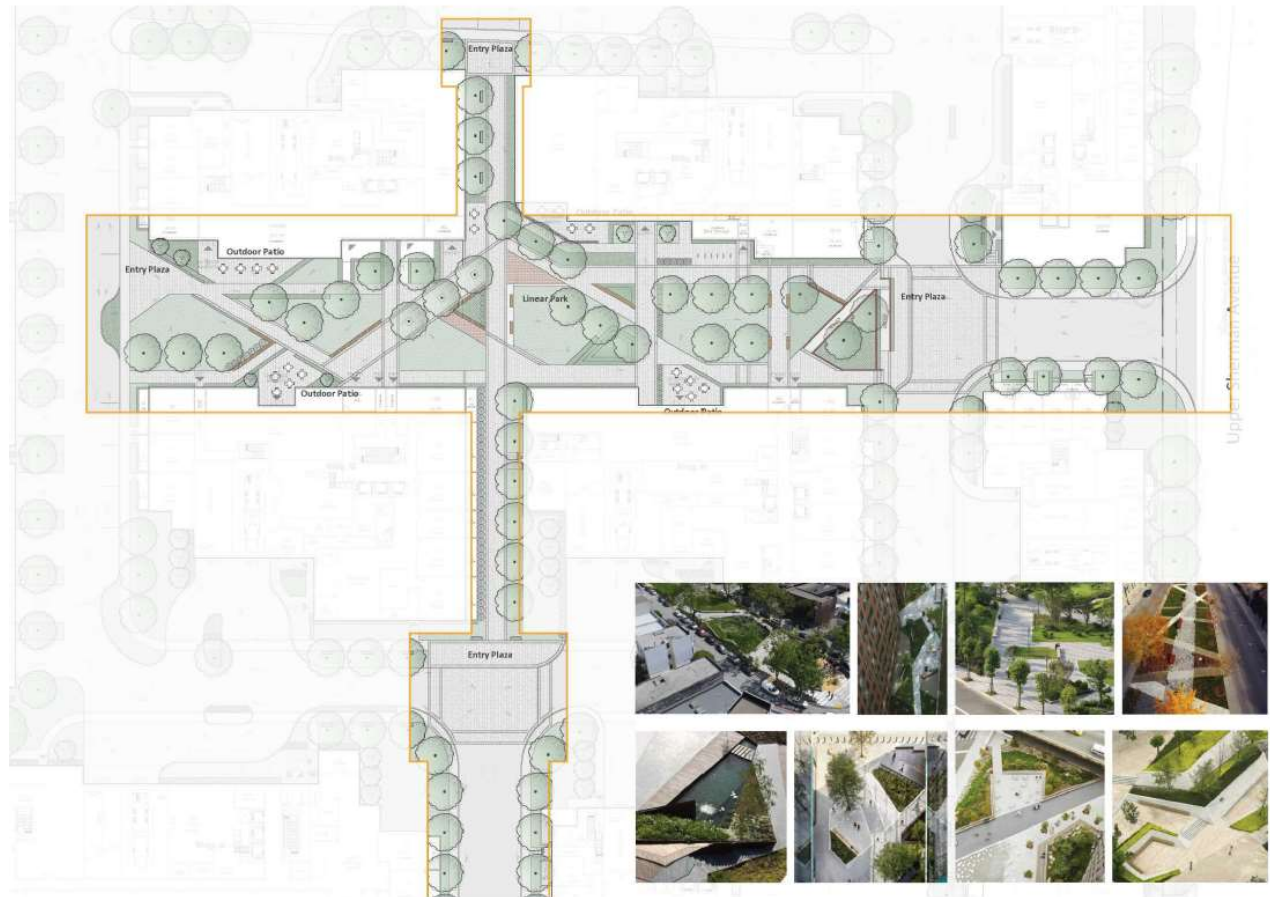
- 2,615.0 m² of Indoor Amenity Space
- 18,606.0 m² of Outdoor Amenity Space
 - 10.63 m² of amenity space/unit
- 14,104.0 m² of Landscape Area





Linear Park

- Large pockets of softscape combined with plazas, pathways, and patios that weave through these spaces and guide pedestrians to points of interest.
- Larger lawn and hardscape areas can accommodate larger gatherings, and the mounded vegetated spaces create more intimate shady or sunny spaces to gather with friends





Renderings





Renderings





Renderings





Renderings





Renderings





Renderings





Renderings





Policy Framework

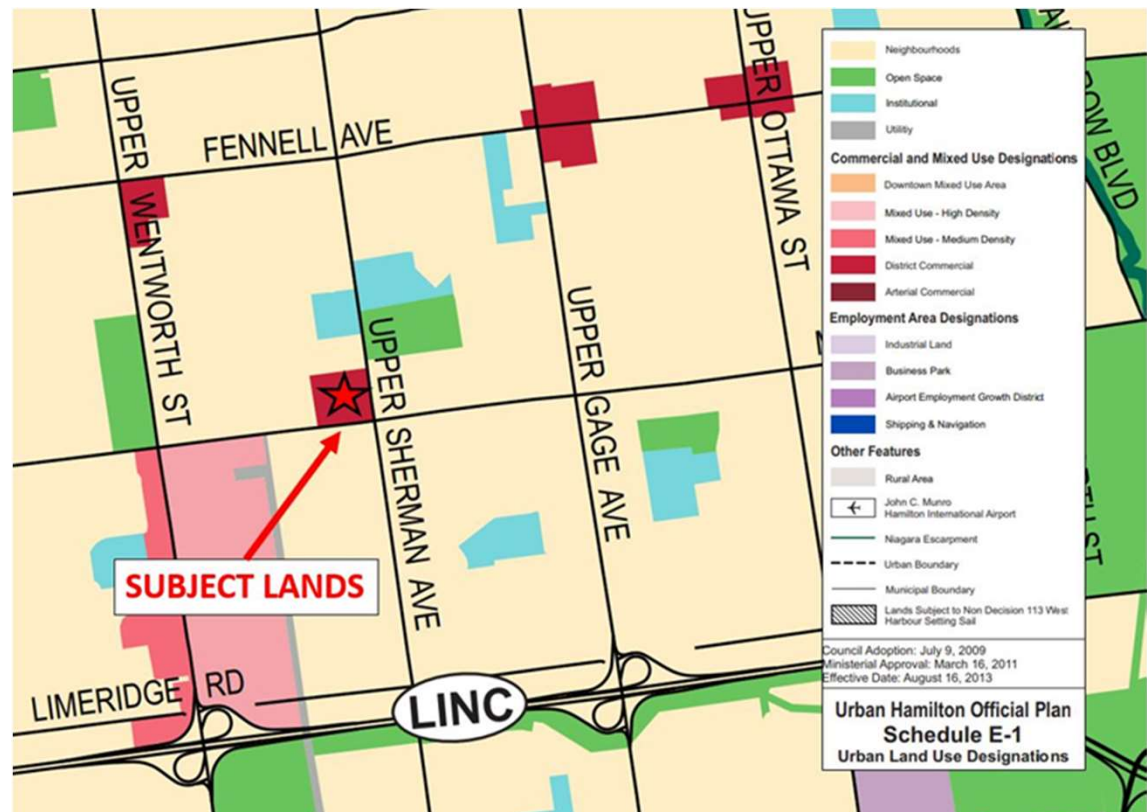


- Provincial Policy Statement
 - High-level guiding principles
- Growth Plan for the Greater Golden Horseshoe
 - Broad policies to plan for population growth to 2051
- Urban Hamilton Official Plan
 - Land use policy at the local level
- City of Hamilton Zoning By-law
 - Specific regulations tied to individual properties (i.e. setbacks)



Official Plan Amendment

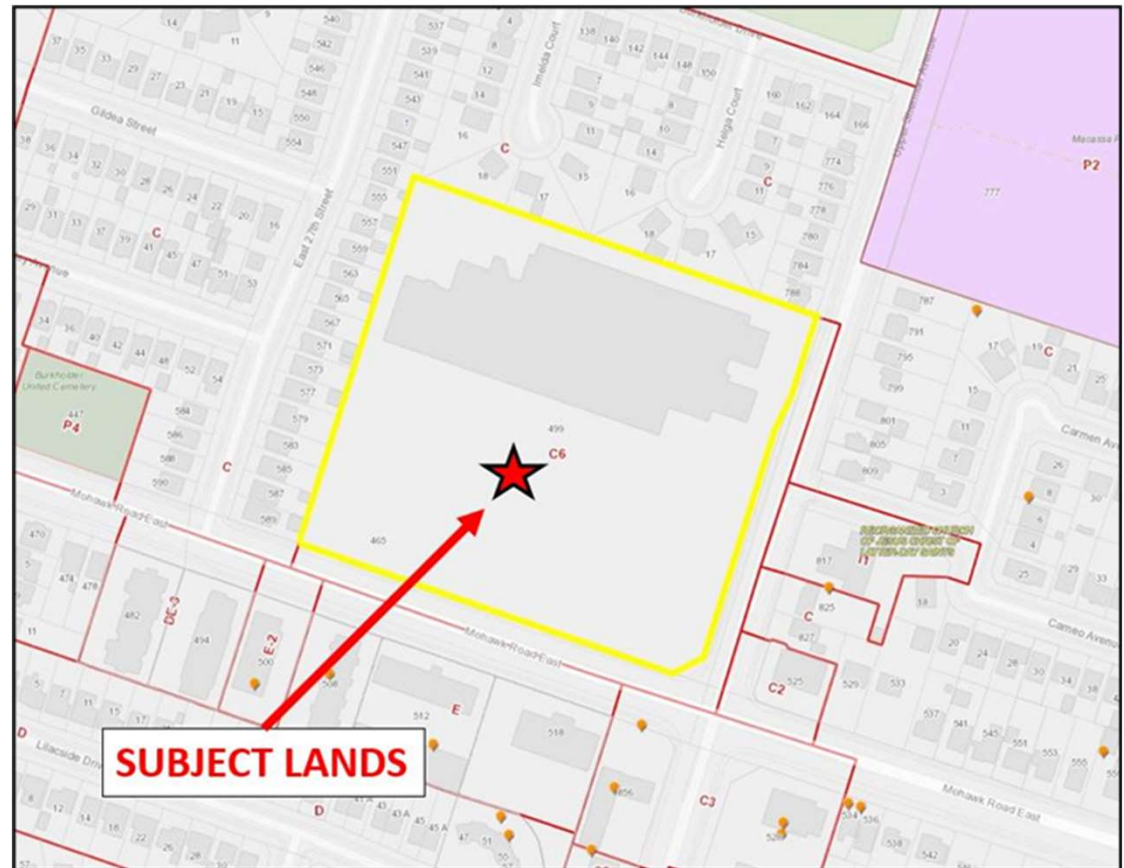
- *'District Commercial'*
- **Official Plan Amendment** required to redesignate the property from *'District Commercial'* to *'Mixed Use – Medium Density'* land use designation in the Urban Hamilton Official Plan.





Zoning By-law Amendment

Zoning By-law Amendment required to rezone the subject lands from the District Commercial (C6) Zone in the City of Hamilton Zoning By-law No. 05-200, to a site-specific Mixed Use – Medium Density (C5,__) Zone in the City of Hamilton Zoning By-law No. 05-200.





Required Planning Applications



- Formal Consultation – Complete
- Official Plan Amendment - Current
- Zoning By-law Amendment – Current
- Site Plan – Future
- Draft Plan of Condominium – Future



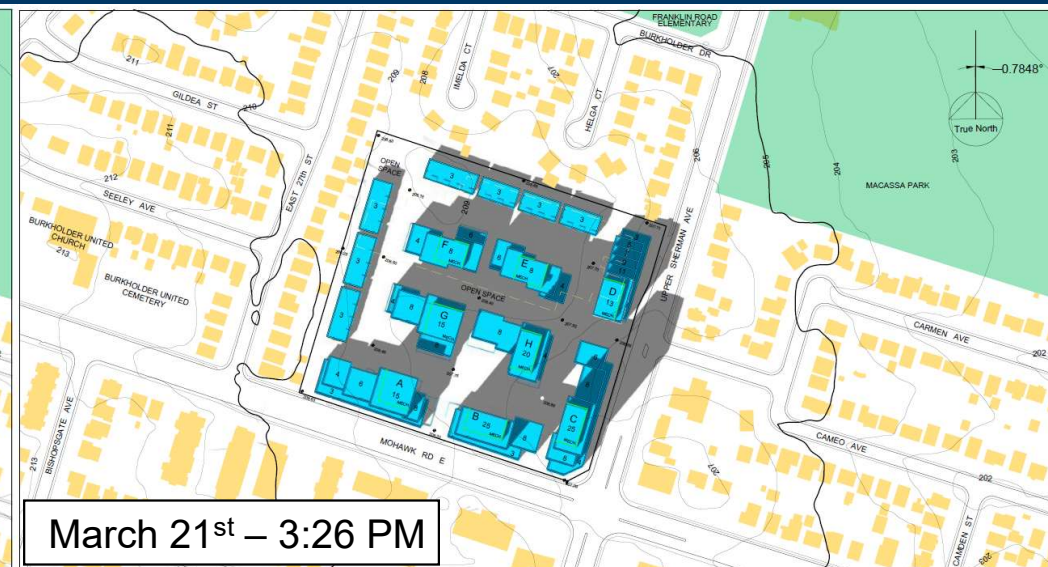
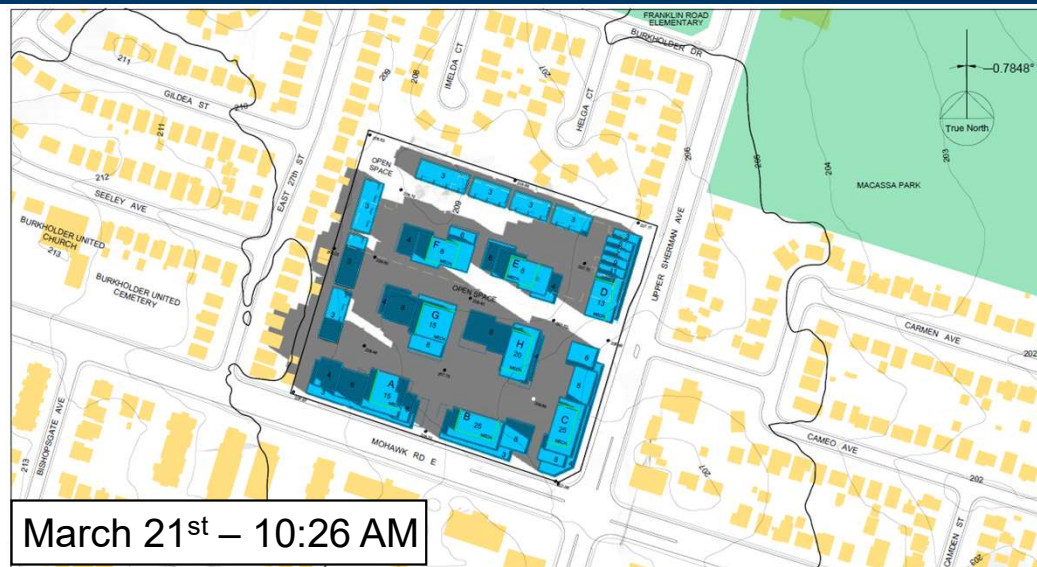
Supporting Studies/Plans



- Draft Official Plan and Zoning By-law Amendment
- Urban Design Brief
- Survey Plan
- Concept Plan
- Planning Justification Report
- Public Consultation Strategy
- Tree Protection Plan
- Preliminary Landscape Plan
- Sun Shadow Study
- Wind Study
- Noise Study
- Phase I & II Environmental Site Assessment
- Grading & Servicing Plan
- Watermain Hydraulic Analysis
- Preliminary Storm Drainage Area Plan
- Water Servicing Report
- Stormwater Management Report
- Functional Servicing Report
- Transportation Impact Study
- Transportation Demand Management Options Report
- Stage I Archaeological Assessment
- Design Review Panel



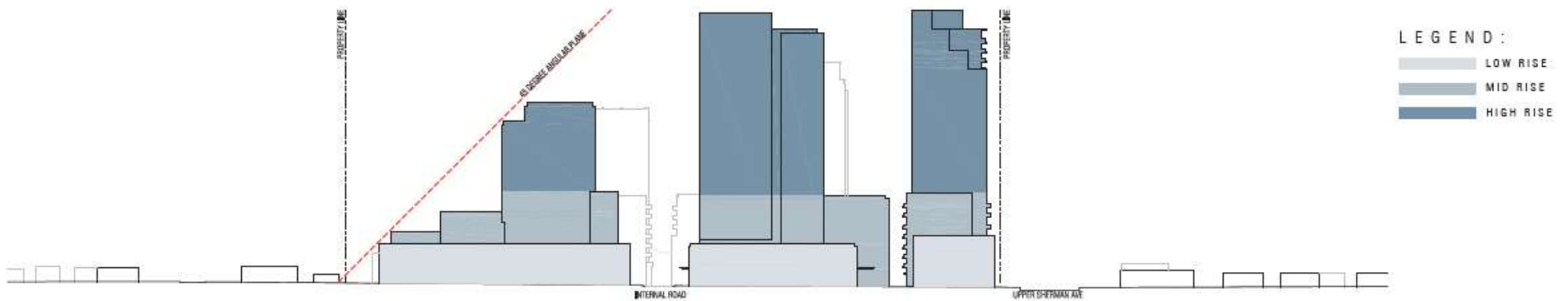
Sun Shadow Study Results



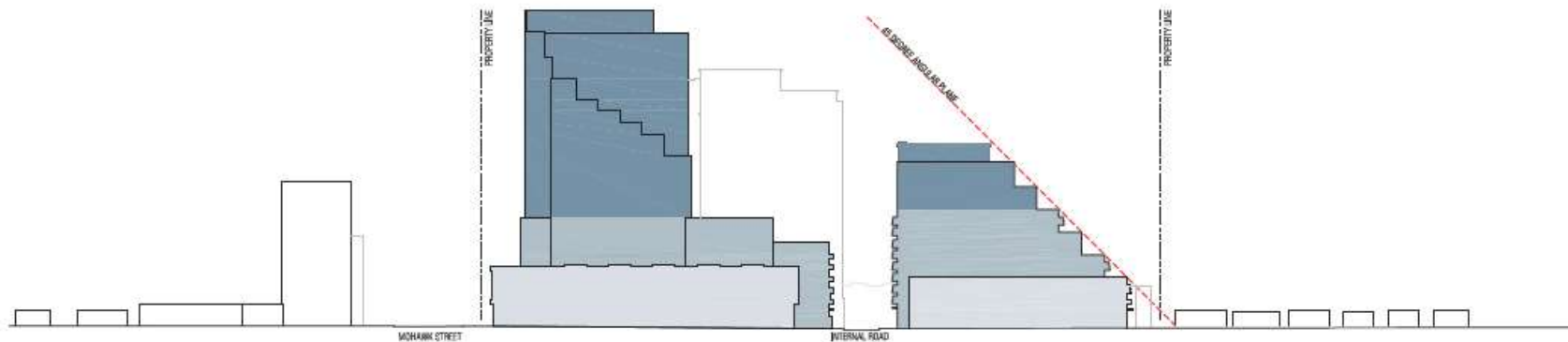
- Sun Shadow Study was conducted to evaluate resulting shadow impacts between sunrise and sunset on September 21st and March 21st
- City-Wide Corridor Planning Principles and Design Guidelines prescribe **minimum of 5-hours of sunlight** throughout the day as measured on March 21st
- As proposed, 5-hours of sunlight is maintained for all surrounding properties, public spaces and sidewalks



Angular Plane Diagrams



LOOKING SOUTH



LOOKING EAST



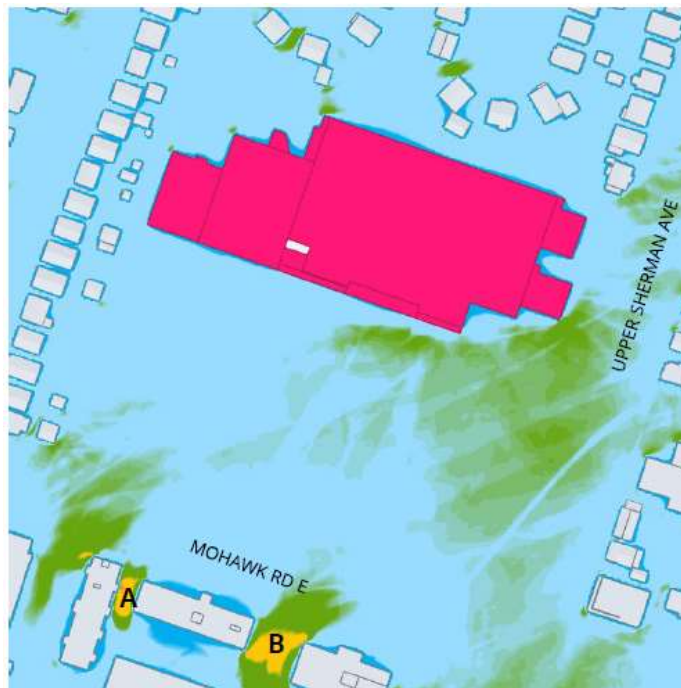
Transportation Impact Study Results



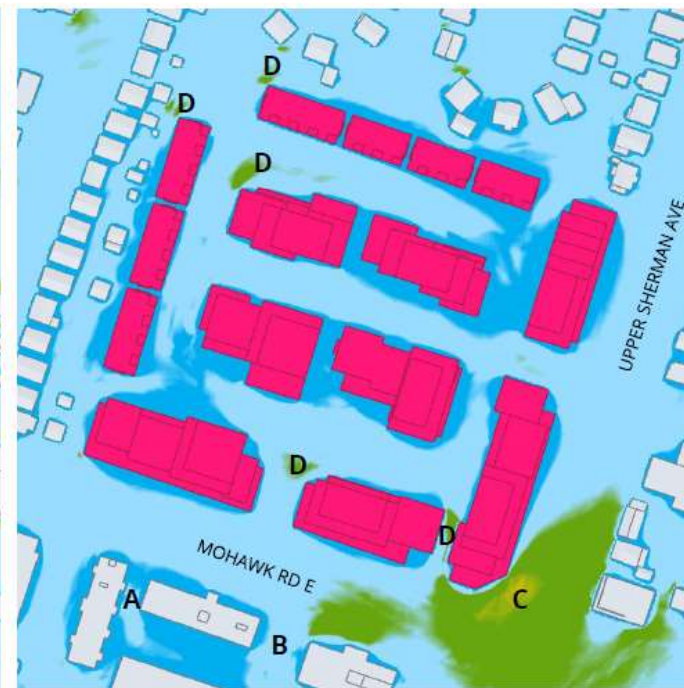
- Trip generation is estimated to be +/- 563 morning peak hour trips and 664 evening peak hour trips
- Site traffic forecast to add less than 20 seconds of delay to intersection movements.
- The following recommendations were made by the traffic consultant:
 - City of Hamilton to continue to monitor traffic operations at study area signalized intersections and adjust signal timings as needed; and,
 - Median at Cameo Avenue at Upper Sherman Ave be removed to allow for full movements at the intersection.



Wind Impact Study Results (Summer)



(a) EXISTING SCENARIO - SUMMER



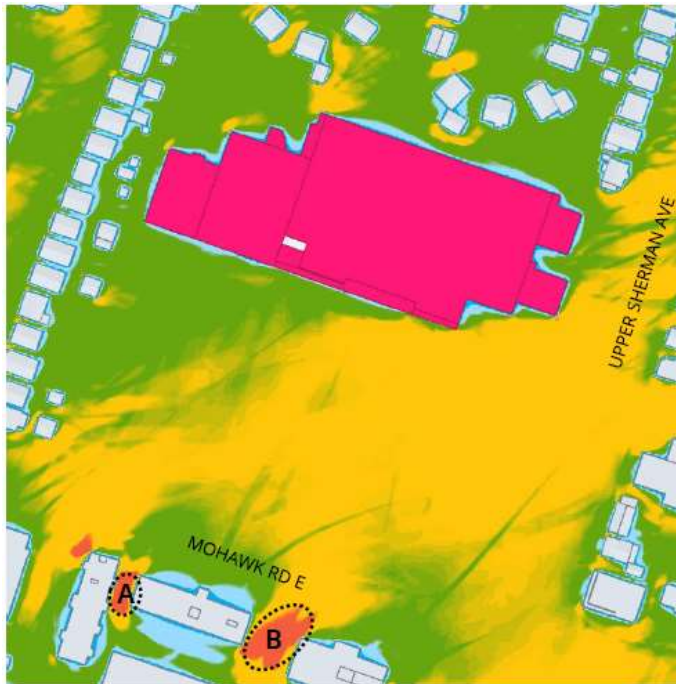
(b) PROPOSED SCENARIO - SUMMER

COMFORT: SITTING STANDING STROLLING WALKING UNCOMFORTABLE

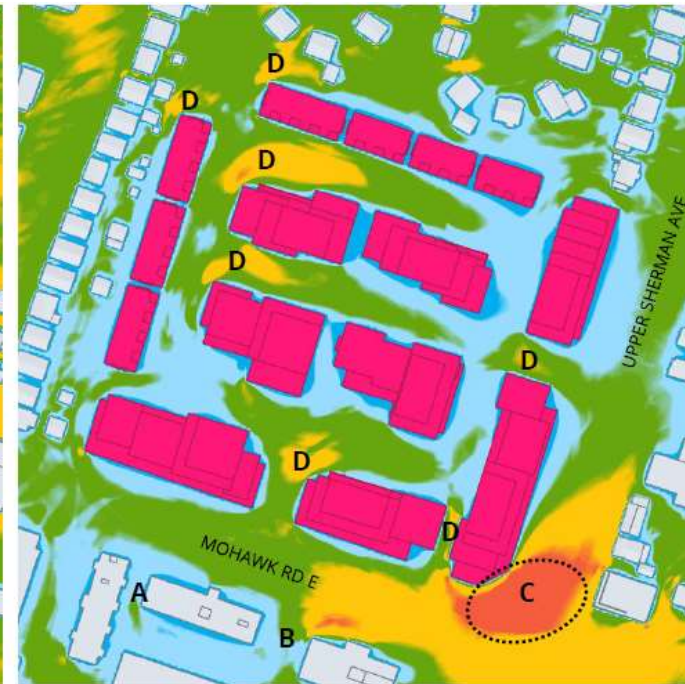




Wind Impact Study Results (Winter)



(a) EXISTING SCENARIO - WINTER



(b) PROPOSED SCENARIO - WINTER

COMFORT:





Results of Civil Infrastructure Studies



Civil infrastructure studies completed to evaluate proposed development indicate adequate capacity and/or pressure for:

- Stormwater Storage
- Water Distribution System
- Sanitary and Water Servicing System
- Proposed Watermains



Site Plan Matters



- Construction Management Plan



- Landscape Plan



- Building Elevations & Materials



- Detailed Engineering and Site Grading



- Site Lighting



Chronology



Date	Application
November 17, 2021	Formal Consultation (FC-22-012) submitted
January 26, 2022	Development Review Team Meeting held at the City of Hamilton
October 24, 2022	Official Plan & Zoning By-law Amendment applications submitted to City of Hamilton
November 18, 2022	Design Review Panel application submitted to the City of Hamilton
November 21, 2022	Applications Deemed Complete
December 6, 2022	Public Notice sign posted on subject lands
December 8, 2022	Design Review Panel meeting held virtually
January 6, 2023	Public Comments received from City
February 2, 2023	Neighbourhood Information Meeting
TBD	Planning Committee



Public Participation



- 499 Mohawk Road East Microsite:
<https://urbansolutions.info/499-mohawk/>
- Included on Microsite:
 - Downloadable links to supporting material and studies
 - Up-to-date Project Chronology Timeline
 - Contact information of City Planner assigned to project

499 Mohawk Road East



UrbanSolutions Planning & Land Development Consultants Inc. is the authorized planning consultant acting on behalf of 499 Mohawk Inc., the owner of 499 Mohawk Road East. The proposal for the subject lands is to develop a community of multiple dwellings ranging from 8 to 25 storeys in height alongside 3-storey townhouse dwellings for a total of 1,995 residential units. In addition, the proposed development development is accommodated by 1,995 resident and visitor parking spaces contained primarily within an underground parking garage with surface parking opportunities provided on site for the townhouse dwellings. Furthermore, 948 long-term bicycle parking spaces and 95 short-term bicycle parking spaces are to be provided. To facilitate this proposal, applications were submitted to the City of Hamilton in October of 2022, to amend the Urban Hamilton Official Plan and the Zoning By-law.

The purpose of this website is to provide interested parties with access to the proposed development application details, supporting studies and access to participate in the planning process.

RESOURCES

Prior to submitting planning applications to the City of Hamilton, the development concept

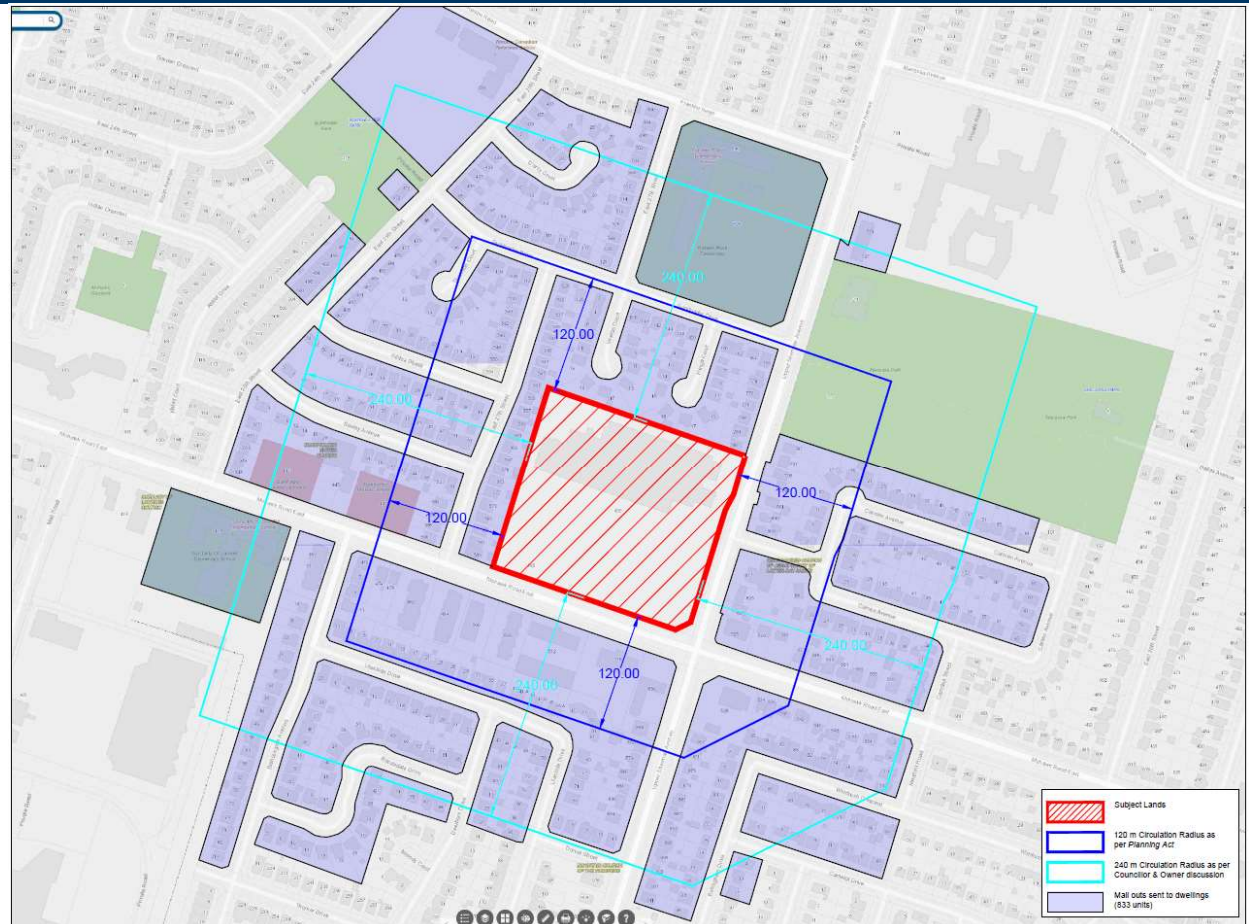
Resource Downloads

Cover Letter
Application Form
Architectural Package
Concept Plan
Draft Urban Hamilton Official Plan Amendment
Draft Zoning By-law Amendment
Formal Consultation Document
Grading Plan
Ministry Archaeological Report
Registration Letter
Noise Impact Study
Planning Justification Report
Preliminary Landscape Plan
Public Consultation Strategy Guidelines
Road Widening Reference Plan
Servicing Plan
Stage 1 Archaeological Assessment
Sun & Shadow Study
Storm Water Management Report
Topographic Survey



Public Participation

- Province of Ontario requires residents within **120m radius** of development to be notified
- Ward Councillor requested **240m radius** be utilized for subject development
- Notices circulated to over 830 dwellings in the area, stretching **beyond 240m radius**





Next Steps



Planning Act Application Process

- Addressing department, agency and public comments
- Staff Recommendation Report
- Statutory Public Meeting

Information

<https://urbansolutions.info/499-mohawk/>

Participation

Email comments to Aminu.Bello@hamilton.ca



Questions & Answers