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City Clerk's Office  
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Email: Lisa.kelsey@hamilton.ca

# Hamilton

May 15, 2023

1333664 Ontario Inc. (c/o Mike Valvasori)  
**7049 Twenty Road East, Hannon, ON L0R 1P0**

UrbanSolutions Planning and Land Development Consultants c/o Matt Johnston  
3 Studebaker Place. Unit 1  
Hamilton ON L8L 0C8

**Re: Passage of Zoning By-law 23-014 and By-Law 23-015  
3250 and 3260 Homestead Drive, Glanbrook**

Please find enclosed a copy of the Statutory Declaration and By-law for the above-mentioned property. The By-law is now final and binding.

Yours truly,

A handwritten signature in cursive script, appearing to read "Lisa Kelsey".

For Lisa Kelsey  
Legislative Coordinator  
Planning Committee

Attachments

Copies to:

Steve Robichaud  
Heather Travis  
Nada Belair  
Christine Newbold  
David Janaszek  
MPAC  
James Van Rooi

**ZAC-22-020  
UHOPA-22-010**

DOMINION OF CANADA )  
 )  
 )  
 Province of Ontario )  
 )

**IN THE MATTER OF Urban Hamilton Official  
Plan Amendment No. 179 (By-law 23-014)  
and Zoning By-law No. 23-015  
AND IN THE MATTER OF Sections 17 (28) and 34 (22)  
Planning Act, R.S.O. 1990, c. P.13.  
3250 and 3260 Homestead Drive, Mount Hope**

TO WIT: )  
 )

**I, Lisa Kelsey, Legislative Coordinator, City Clerk's Office, of the City of Hamilton, DO SOLEMNLY DECLARE:**

1. That Notice of a Public Meeting for the purpose of informing the public in respect of the proposed Official Plan Amendment and Zoning By-law Amendment was given on the 23<sup>rd</sup> day of December, 2022 as prescribed by law.
2. That Urban Official Plan Amendment No. 179 (By-law 23-014) was approved by the City of Hamilton on the 8<sup>th</sup> day of February, 2023.
3. That Zoning By-law 23-015 was passed on the 8<sup>th</sup> day of February, 2023.
4. That written Notices of Passing of the said Official Plan Amendment and Zoning By-laws were as given in accordance with Section 17(23) and Section 34(18) of the *Planning Act* on the 17<sup>th</sup> day of February, 2023.
5. That appeals of By-laws 23-014 and 23-015 were filed within twenty days from the day of the notice given of the approval of the said Official Plan Amendment and passing of the said By-laws.
6. That the notices of appeal were duly forwarded to the Ontario Land Tribunal and thereafter, the Tribunal, by letter dated the 24<sup>th</sup> day of April, 2023 confirmed that the appeals were withdrawn.
7. That, in accordance with Section 17(27) of the *Planning Act*, I verily believe that the Official Plan Amendment is deemed to come into force on the 17<sup>th</sup> day of February, 2023, being the day following the last day for filing a notice of appeal.
8. That Notice of Passing of the Zoning By-law 20-036 was given in accordance with Section 34(18) of the *Planning Act* on the 17<sup>th</sup> day of February, 2023.
9. That, in accordance with Section 34(21) of the *Planning Act*, I verily believe that the By-law is deemed to come into force on the same day as the Official Plan Amendment.

**AND I MAKE THIS** solemn Declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the *Evidence Act*.

**DECLARED** before me at the  
City of Hamilton  
this 16<sup>th</sup> day of May, 2023.

) 

  
A Commissioner, etc.

Loren Isabel Kolar,  
a Commissioner, etc.,  
Province of Ontario, for the City of Hamilton.  
Expires November 2, 2024

**ZAC-22-020  
UHOPA-22-010**

Authority: Item 2, Planning Committee  
Report: 23-001 (PED23002)  
CM: January 25, 2023  
Ward: 11

**Bill No. 014**

**CITY OF HAMILTON**

**BY-LAW NO. 23-014**

**To Adopt:**

**Official Plan Amendment No. 179 to the  
Urban Hamilton Official Plan**

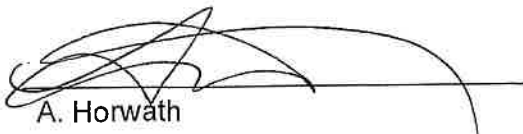
**Respecting:**

**3250 Homestead Drive  
(former Township of Glanbrook)**

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. Amendment No. 179 to the Urban Hamilton Official Plan consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

**PASSED** this 8<sup>th</sup> day of February, 2023.

  
A. Horwath  
Mayor

  
A. Holland  
City Clerk

## Urban Hamilton Official Plan Amendment No. 179

The following text, together with:

Appendix "A"	Volume 1: Schedule E-1 – Urban Land Use Designations
Appendix "B"	Volume 2: Map B.5.4-1 – Mount Hope Secondary Plan - Land Use Plan

Constitutes Official Plan Amendment No. 179 to the Urban Hamilton Official Plan.

### **1.0 Purpose and Effect:**

The purpose and effect of this Amendment is to redesignate the subject lands to permit the development of a three storey multiple dwelling.

### **2.0 Location:**

The lands affected by this Amendment are known municipally as 3250 Homestead Drive in the Town of Glanbrook.

### **3.0 Basis:**

The basis for permitting this Amendment is:

- The proposed development is consistent with the Neighbourhoods policies of the Urban Hamilton Official Plan;
- The proposal contributes to the provision of a range of dwelling units within the Mount Hope Secondary Plan Area;
- The Amendment is consistent with the Provincial Policy Statement, 2020 and conforms to Growth Plan for the Greater Golden Horseshoe, 2019, as amended.

**4.0 Actual Changes:**

**4.1 Volume 1 – Parent Plan**

**Schedule**

4.1.1 Schedule

- a. That Volume 1: Schedule E-1 – Urban Land Use Designations be amended by redesignating the subject lands from "District Commercial" to "Mixed Use – Medium Density", as shown on Appendix "A", attached to this Amendment.

**4.2 Volume 2 – Secondary Plans**

**Maps**

4.2.1 Map

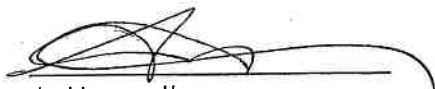
- a. That Volume 2: Map B.5.4-1 – Mount Hope Land Use Plan be amended by redesignating lands from "District Commercial" to "Mixed Use – Medium Density", as shown on Appendix "B" to this Amendment.

**5.0 Implementation:**

An implementing Zoning By-Law Amendment and Site Plan will give effect to the intended uses on the subject lands.

This Official Plan Amendment is Schedule "1" to By-law No. 23-014 passed on the 8<sup>th</sup> day of February, 2023.

**The  
City of Hamilton**

  
A. Horwath  
Mayor

  
A. Holland  
City Clerk

# APPEALS

## Appendix A Approved Amendment No. 179 to the Urban Hamilton Official Plan

Lands to be redesignated from "District Commercial" to "Mixed use - Medium Density"  
(3250 Homestead Drive, Glanbrook)

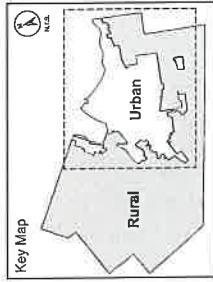
Date: Jan. 31, 2023  
Revised By: JVR/NB  
Reference File No.: OPA-U-179(G)

### UHOA NO. 69 APPEALS - PL171450

- ☆ - 71 Main Street West and 10 Baldwin Street, Appellant # 8
- ☆ - 3011 Homestead Drive (Glanbrook), Appellant # 4
- ☆ - 221-225 John Street South and 70-78 Young Street (Hamilton), Appellant # 20
- ☆ - 237 Upper Centennial Parkway (Stoney Creek), Appellant # 14

### UHOA NO. 102 APPEALS - PL180548

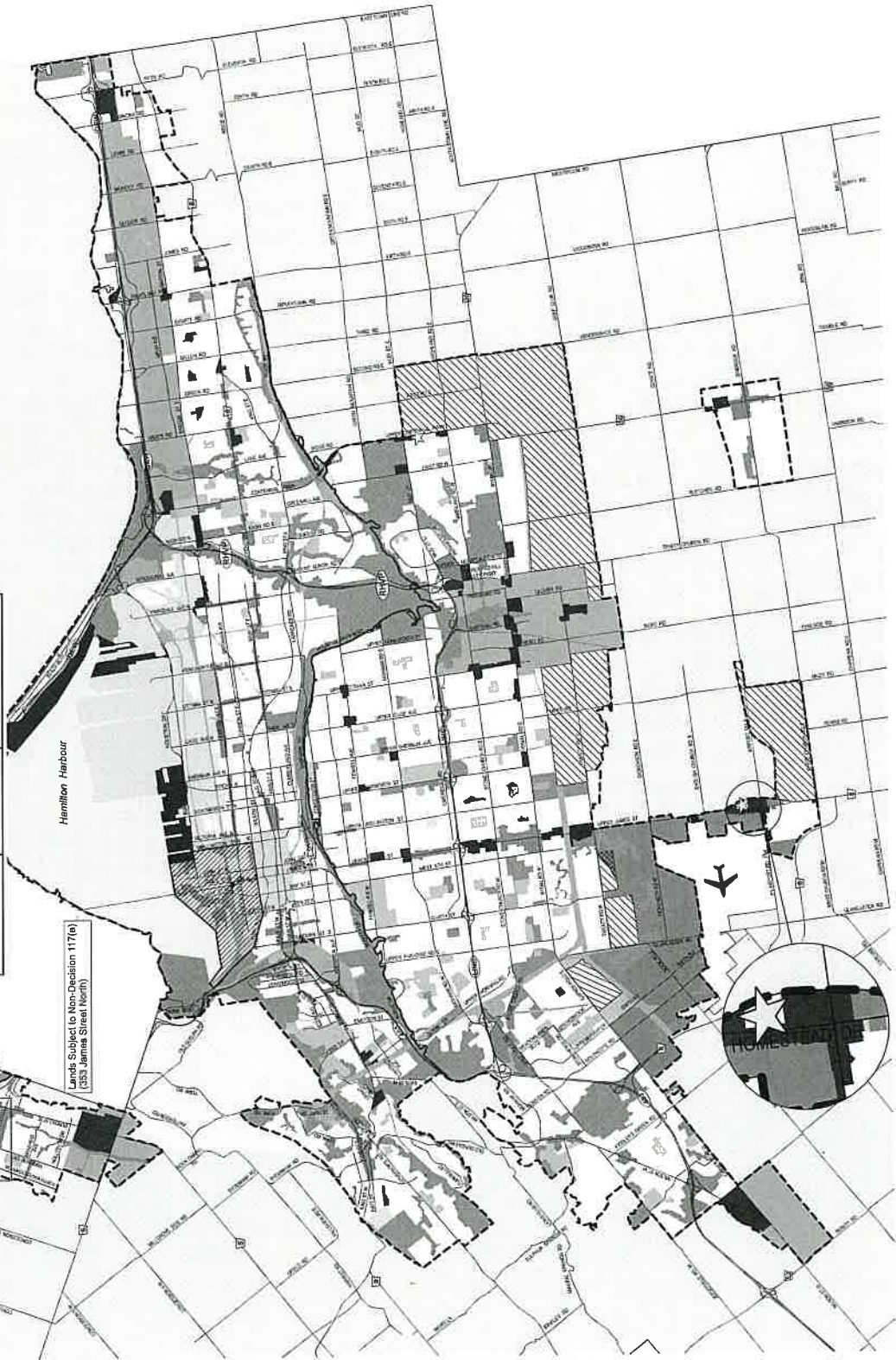
- ☆ - 215, 217, 219, 221, 223 and 231 Main Street West, 67 & 69 Queen Street South and 62 & 64 Hiss Street South



Note: For Rural Land Use Designations, refer to Schedule D of the Rural Hamilton Official Plan.

#### Legend

- Neighbourhoods
  - Open Space
  - Institutional
  - Utility
- Urban Expansion Area - Neighbourhoods
- Urban Expansion Area - Employment
- Commercial and Mixed Use Designations**
  - Downtown Mixed Use Area
  - Mixed Use - High Density
  - Mixed Use - Medium Density
  - District Commercial
  - Arterial Commercial
- Employment Area Designations**
  - Industrial Land
  - Business Park
  - Airport Employment Growth District
  - Shipping & Navigation
- Other Features**
  - Rural Area
  - John C. Munro Hamilton International Airport
  - Niagara Escarpment
  - Urban Boundary
  - Municipal Boundary
  - Lands Subject to Non-Decision 113 West Harbour Steeple Sail



Lands Subject to Non-Decision 117(e)  
(333 Jermia Street North)

Council Adoption: July 9, 2009  
Ministerial Approval: March 16, 2011  
Effective Date: August 16, 2013

**Urban Hamilton Official Plan  
Schedule E-1  
Urban Land Use Designations**

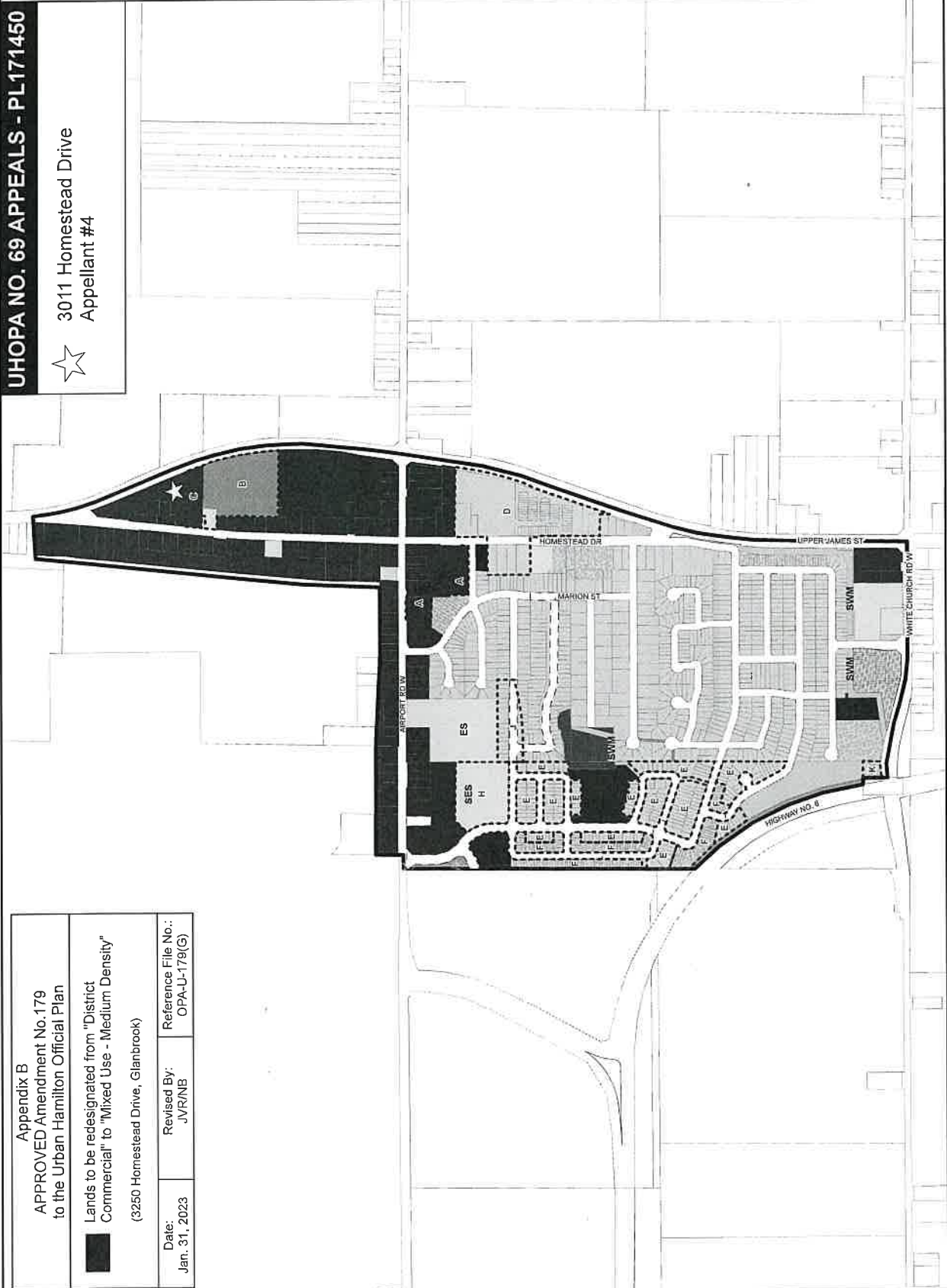
Date: Nov. 2022  
Not To Scale

**UHOPA NO. 69 APPEALS - PL171450**

3011 Homestead Drive  
Appellant #4



<p>Appendix B APPROVED Amendment No.179 to the Urban Hamilton Official Plan</p>	
<p>■ Lands to be redesignated from "District Commercial" to "Mixed Use - Medium Density" (3250 Homestead Drive, Glanbrook)</p>	<p>Reference File No.: OPA-U-179(G)</p>
<p>Date: Jan. 31, 2023</p>	<p>Revised By: JVR/NB</p>



**Legend**

- Residential Designations**
  - Low Density Residential 2
  - Low Density Residential 2c
  - Low Density Residential 3f
  - Medium Density Residential 3
- Parks and Open Space Designations**
  - Neighbourhood Park
  - Community Park
  - General Open Space
  - Natural Open Space
- Other Designations**
  - Institutional
  - Mixed Use - Medium Density
  - District Commercial
  - ES
  - Elementary School
  - SES
  - Separate Elementary School
  - Utility
  - SWM
  - Storm Water Management
- Other Features**
  - Area or Site Specific Policy
  - Proposed Roads
  - Secondary Plan Boundary

Council Adopted: July 9, 2009  
Ministerial Approval: March 16, 2011  
Effective Date: August 16, 2013

Urban Hamilton Official Plan  
Mount Hope  
Secondary Plan  
Land Use Plan  
Map B.5.4-1

Date: May, 2023

Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT  
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This map is for informational purposes only. It is not a legal document.  
THIS IS NOT A PLAN OF SURVEY.

Authority: Item 2, Planning Committee  
Report 23-001 (PED23002)  
CM: January 25, 2023  
Ward: 11

Bill No. 015

**CITY OF HAMILTON**  
**BY-LAW NO. 23-015**

**To Amend Zoning By-law No. 05-200 with Respect to Lands Located at 3250 and 3260 Homestead Drive, Glanbrook**

**WHEREAS** Council approved Item 2 of Report 23-001 of the Planning Committee, at its meeting held on January 25, 2023;

**AND WHEREAS** this By-law will be in conformity with the Urban Hamilton Official Plan, upon finalization of Official Plan Amendment No. 179;

**NOW THEREFORE** Council amends Zoning By-law No. 05-200 as follows:


1. That Map Nos. 1748 and 1785 of Schedule "A" – Zoning Maps and boundaries of which are shown on Schedule "A" are amended by:
  - a) Changing the zoning from the District Commercial (C6, 344) Zone to the Mixed Use Medium Density (C5, 823) Zone; and,
  - b) Changing the zoning from the Mixed Use Medium Density (C5, 652, H102) Zone to the Mixed Use Medium Density (C5, 823) Zone.
2. That Schedule "C" – Special Exceptions is amended by adding the following new Special Exception:

"823. Within the lands zoned Mixed Use Medium Density (C5) Zone, identified on Map Nos. 1748 and 1785 of Schedule "A" – Zoning Maps and described as 3250 and 3260 Homestead Drive, the following special provision shall apply:

  - a) Notwithstanding Sections 10.5.3 g) vii) 1., the following regulations shall apply:
    - i) A minimum of one principal entrance shall be provided within the ground floor façade where the setback does not abut any street.
3. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the *Planning Act*.



**PASSED** this 8<sup>th</sup> day of February, 2023.

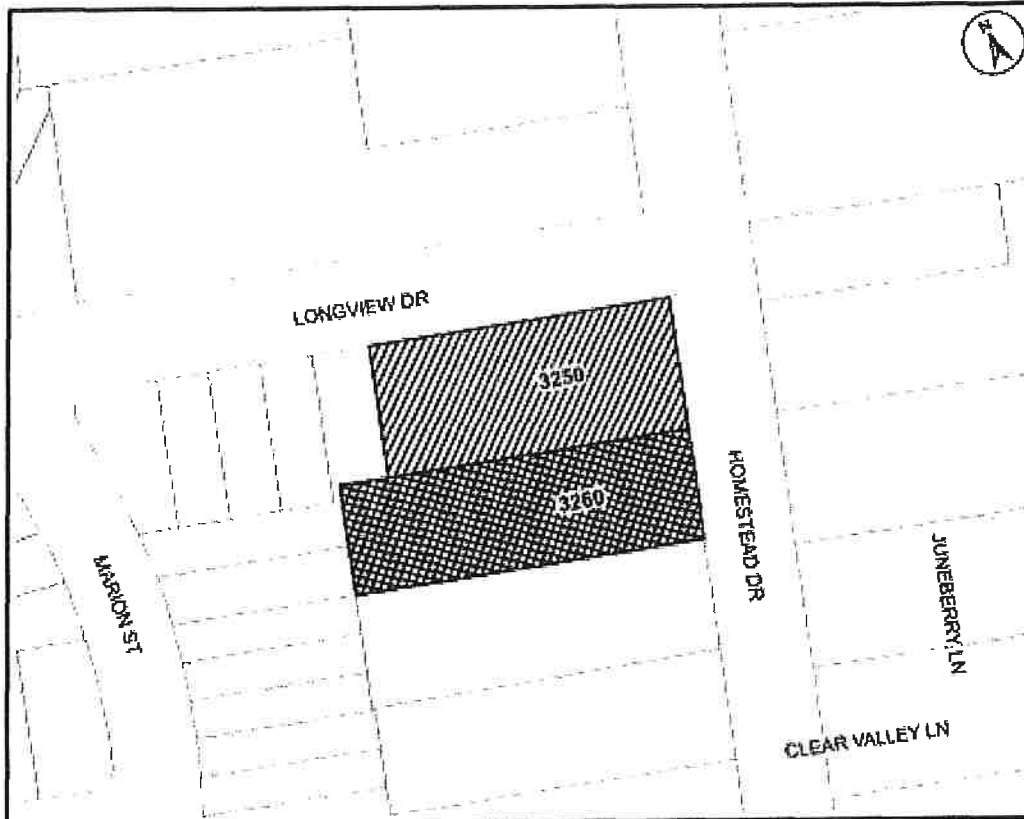


A. Horwath  
Mayor

ZAC-22-020



A. Holland  
City Clerk



This is Schedule "A" to By-law No. 23-015  
 Passed the 8<sup>th</sup> day of February, 2023

*[Signature]*  
 Mayor  
*[Signature]*  
 Clerk


**Schedule "A"**


Map forming Part of  
 By-law No. 23-015

to Amend By-law No. 05-200  
 Map 1748 & 1785

**Subject Property**

3250 & 3260 Homestead Drive

 Block 1 - Change in Zoning from District Commercial (C6, 344) Zone to the Mixed Use Medium Density (C5, 623) Zone

 Block 2 - Change in Zoning from Mixed Use Medium Density (C6, 652, H102) Zone to the Mixed Use Medium Density (C5, 623) Zone

Scale: 1:1.8	File Name/Number: ZAC-22-020 / UMOPA-22-010
Date: February 22, 2022	Planner/Technician: JWAL
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT	

