

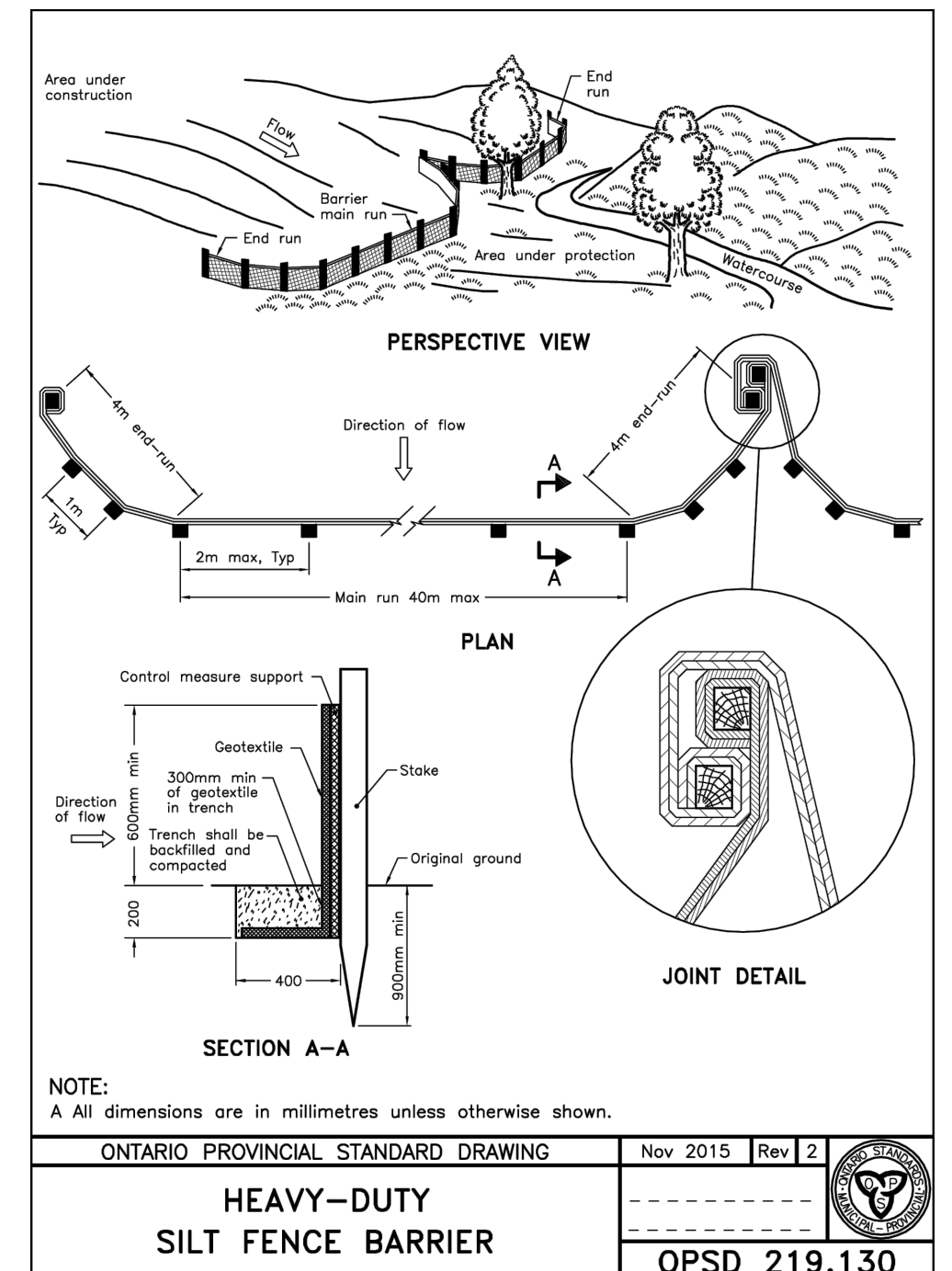
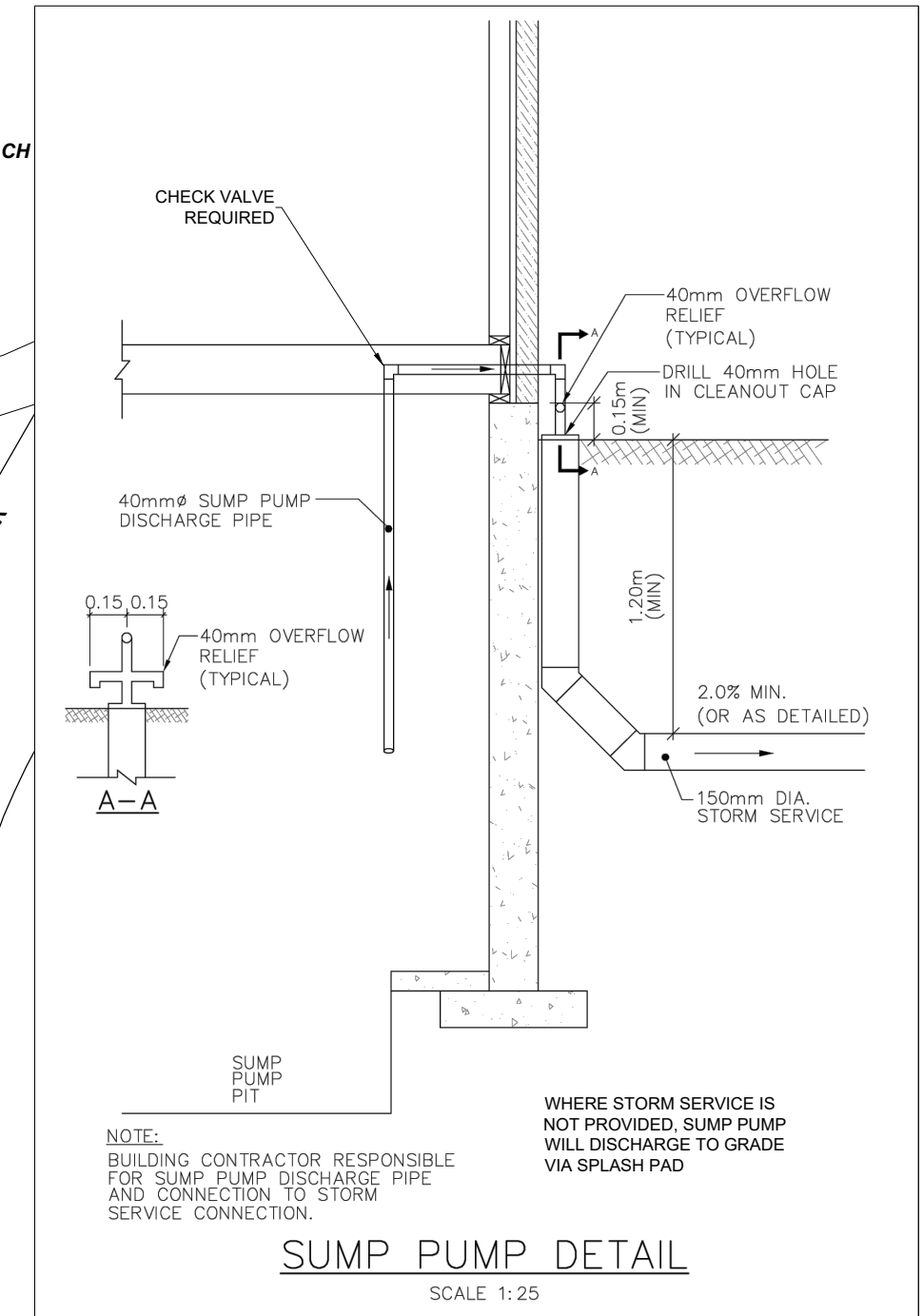
**LEGEND**

✕ 100.50	EXISTING ELEVATION
✕ 1100.50	EXISTING ELEVATION (CALCULATED)
✕ (100.00)	PROPOSED ELEVATION
✕ S(100.00)	PROPOSED APRON ELEVATION
✕ F(100.00)	PROPOSED SWALE ELEVATION
○	FUTURE ELEVATION
△	PROPOSED DOWNSPOUT
○	PROPOSED ENTRANCE LOCATION
---	PROPOSED SWALE
---	PROPOSED SWALE WITH SUBDRAIN
---	PROPOSED SILT FENCE OPSD 219.130

- GENERAL GRADING NOTES:**
- MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SLOTTED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
  - SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 33% (3:1).
  - MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE UNIT SHALL BE 1.0%.
  - WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER RD-121 AND CONNECTED TO A SUITABLE OUTLET.
  - DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
  - GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
  - THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
  - UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
  - IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
  - ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
  - ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
  - TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
  - RETAINING WALLS 0.60M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
  - ALL FILL COMPACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
  - FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (IF APPLICABLE).

- BACKYARD GRADING NOTES:**
- "REQUIRED BACKYARD" SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE DEFINED IN THE APPLICABLE ZONING BY-LAW.
  - THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
  - WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALL SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
  - GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
  - THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
  - BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0m OR MORE, PROVIDING A MINIMUM OF 2.0m BETWEEN FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT

- SILTATION AND EROSION CONTROL NOTES:**
- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.130 (SEE DETAIL ON THIS SHEET).
  - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
  - CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SILTSACK BY ACF ENVIRONMENTAL OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
  - ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.
  - ALL SILTATION CONTROL BARRIERS SHALL BE PACED AS DETAILED
  - ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED TO THE SATISFACTION OF THE CITY OF HAMILTON.
  - SILTATION AND EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKS COMMENCING ON SITE AND SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL GROUND COVER IS ESTABLISHED AND THE SITE IS FULLY DEVELOPED.
  - EROSION & SEDIMENT CONTROLS MUST BE INSPECTED ON A REGULAR BASIS AFTER EVERY RAINFALL EVENT, AND MUST BE MAINTAINED AND REPAIRED IN A TIMELY MANNER TO PREVENT SEDIMENT FROM LEAVING THE SITE.
  - EXISTING AND PROPOSED CATCHBASINS ARE TO BE PROTECTED WITH A SILTSAC FOR THE DURATION OF CONSTRUCTION.
  - IT IS REQUIRED TO STABILIZE ALL AREAS THAT WILL REMAIN DISTURBED FOR MORE THAN 30 DAYS.
  - SILT FENCE AND CATCH BASIN PROTECTION ARE NOT TO BE REMOVED UNTIL COMPLETION OF CONSTRUCTION.
  - THE SILTATION AND EROSION CONTROL MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED MINIMUM REQUIREMENT, CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
  - ALL EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE AS PER THE "GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITIES", "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".
  - THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTER AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEANUP OPERATION AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE SECURITY FOR COST AND/OR LAY CHARGES.



- ROOFWATER LEADERS**  
ROOFWATER LEADERS FOR ALL LOTS SHALL DRAIN ONTO THE GROUND VIA CONCRETE SPLASH PADS, AND THEN TO GRASSED AREAS AT LEAST 0.60m FROM THE DWELLING FACE.
- FOUNDATION DRAINS**  
WEEPING TILES SHALL DRAIN TO SUMP PIT AND BE PUMPED TO GRADE VIA SUMP PUMP WITH BACK-FLOW PREVENTOR (HP PUMP WITH BACK-UP POWER SOURCE)
- NOTES:**
- LOCATIONS UNDERGROUND SERVICES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - ANY DISCREPANCIES BETWEEN SERVICE LOCATIONS AND THESE ENGINEERING DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.



**KEY PLAN N.T.S.**

**BENCHMARK NOTE:**  
ELEVATION = 248.131 (CGVD-1928)  
MONUMENT: 0011975U132  
PUMPING STATION, WILSON STREET AT SEMINOLE ROAD, TABLET IN TOP OF CONCRETE WELL 27.4m SOUTHEAST OF CENTRELINE OF WILSON STREET, 18.0m NORTHEAST OF CENTRELINE OF SEMINOLE ROAD, 15.2m SOUTHEAST OF HYDRO POLE, 8.2m SOUTHWEST OF CORNER OF PUMP HOUSE.

**SITE BENCHMARK:**  
ELEVATION = 251.07m  
CUT-STAR IN MUNICIPAL SIDEWALK ON EAST SIDE OF FIDDLER'S GREEN ROAD AT SITE FRONTAGE AS INDICATED ON PLAN.

**GENERAL NOTES:**

- TENDERER SHALL SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
- ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

NO.	DATE:	DESCRIPTION:
4	2023-08-08	REVISED PER NEW SITE PLAN
3	2023-03-06	REVISED RYCB LEAD PER CITY COMMENTS
2	2023-02-27	REVISED RYCB LEAD PER CITY COMMENTS
1	2023-01-27	REVISED PER CITY 1ST ROUND COMMENTS
0	2022-12-07	FIRST SUBMISSION

Professional Engineer Seal for A. P. SMITH, LICENSED PROFESSIONAL ENGINEER, 100193971, PROVINCE OF ONTARIO, 2023-07-06.

**LandSmith** ENGINEERING & CONSULTING LTD.  
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**CLIENT:** ZEINA HOMES

**MUNICIPALITY:** CITY OF HAMILTON

**PROJECT NAME:** 382 SOUTHCOTE RD. NO. AN/B-22:59

**TITLE:** GRADING AND EROSION AND SEDIMENT CONTROL PLAN

**SCALE:** 1:150 **DATE:** 2023-08-08

**CHECKED BY:** AS **DESIGNED BY:** DH

**DWG No:** 22054ZEI **SHEET No:** G1