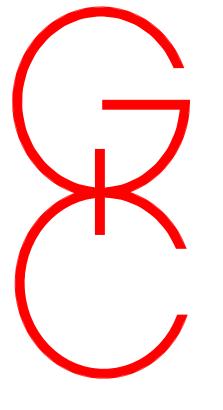


PROPOSED DEVELOPMENT

63 ALBANY ST.

ALBANY STREET INVESTMENTS LTD.

ONTARIO OSHAWA



GRAZIANI CORAZZA ARCHITECTS INC.

8400 JANE STREET, BUILDING D - SUITE 300 CONCORD, ON L4K 4L8 F. 905.795.2844 WWW.GC-ARCHITECTS.COM T. 905.795.2601

CLIENT ALBANY STREET INVESTMENTS LTD.

980 YONGE STREET, SUITE 30 TORONTO, ONTARIO M4W 3Z8 T. 416.924.4680 F. 416.924.4685

ARCHITECT

GRAZIANI + CORAZZA ARCHITECTS INC.8400 JANE STREET, BUILDING D - SUITE 300 CONCORD, ONTARIO L4K 4L8 T. 905.795.2601 F. 905.795.2844 bgraziani@gc-architects.com

CIVIL ENGINEER

7405 EAST DANBRO CRESCENT MISSISSAUGA, ONTARIO L5N 6P8 T. 905.285.9900 EXT225

yayub@jainconsultants.com

SUN/SHADOW R.BOUWMEESTER & ASSOCIATES

BARRIE, ONTARIO M5V 1M9 T. 705.726.3392

rba@sunposition.com

LANDSCAPE ARCHITECT WHITEHOUSE URBAN DESIGN INC. 3 STUDEBAKER PLACE, UNIT 1 HAMILTON, ONTARIO

L8L 0C8 T. 905.979.1739

leann@whitehouseurbandesign.ca kathy@whitehouseurbandesign.ca

TRANSPORTATION **NEX TRANS** 520 INDUSTRIAL PARKWAY SOUTH, SUITE 201

AURORA, ONTARIO L4G 6W8 T. 905.503.2563 EXT207

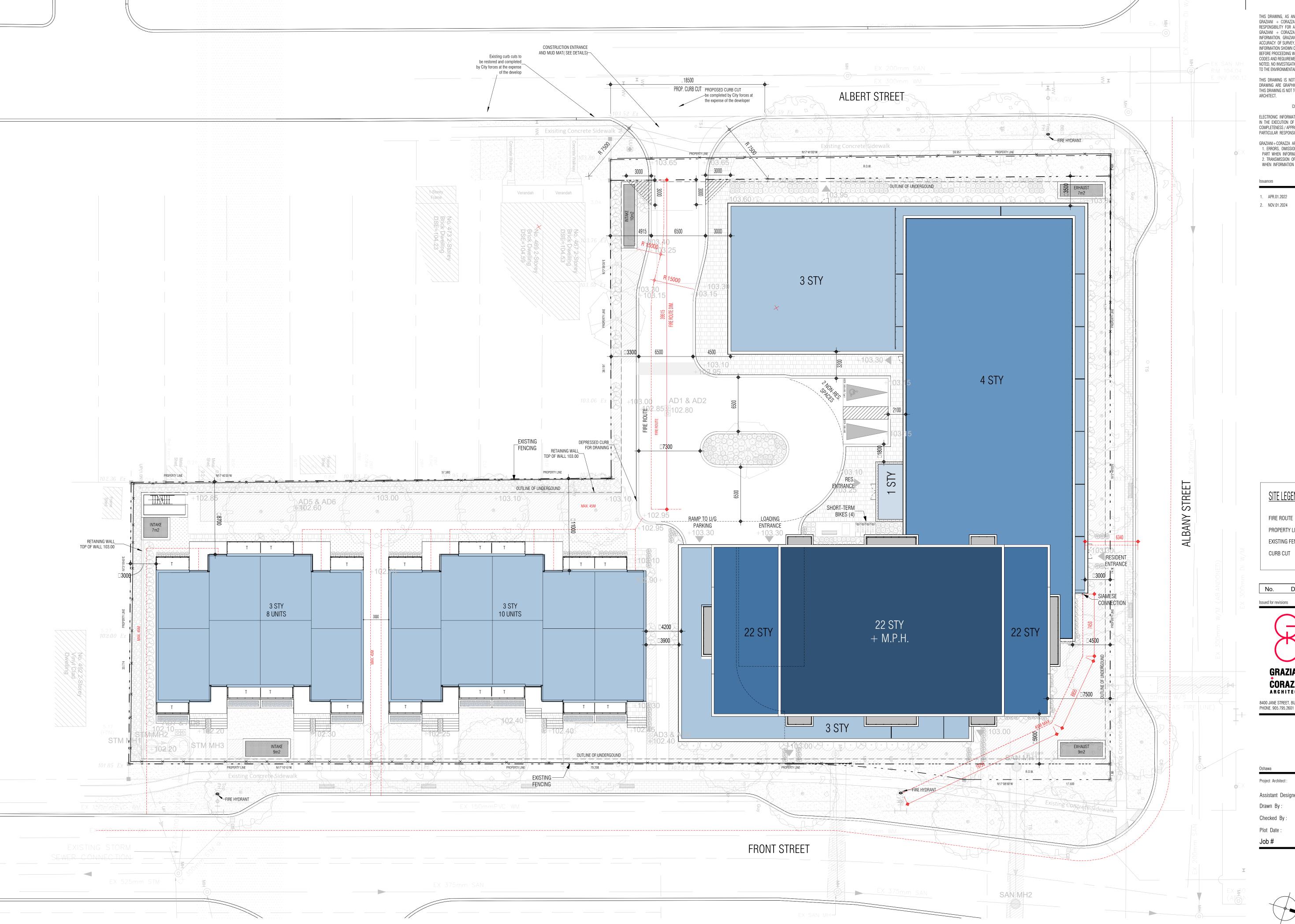
> sam@nextrans.ca richard@nextrans.ca

PLANNING

URBANSOLUTIONS PLANNING AND LAND DEV. CONS. INC. 3 STUDEBAKER PLACE, UNIT 1 HAMILTON, ONTARIO L8L 0C8 T. 905.546.1087

Inooren@urbansolutions.info.ca mjohnston@urbansolutions.info.ca





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ISSUED FOR REZONING

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SITE LEGEND	
FIRE ROUTE	
PROPERTY LINE	
EXISTING FENCING	* * * * * * * * *
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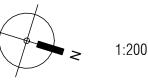
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63 Albany Street

Albany Street Investments Ltd

B.Graziani J.L.
J.L.
J.L.
D.B. / G.C.
Nov.01. 2024
1893.21

SITE PLAN



PROJECT STATISTICS

JOB No:

1893.21 63 Albany, Oshawa

DATE: 0CT.28.2024

01. SITE STATS		(m2)	(ha)	(ft2)	(ac)	% of site area	
SITE AREA	GROSS	6366.25	0.636625	68526	1.5731		
	R.O.W.	195.48	0.019548	2104	0.0483		
	NET	6170.77	0.617077	66422	1.5248		
LOT COVERAGE	(GF GCA/NET SITE AREA)					53%	
LANDSCAPE OPEN SPACE		2471.25	0.247125	26600	0.6107		

02. G.F.A. (m2)	TOWER (By-Law 60-94)	TOWNHOUSE (By-Law 60-94)
RESIDENTIAL	19,979.66	2,868.78
TOTAL	22,848.44	

03. F.S.I	PROPOSED	By-Law 60-94
	3.70	3.5 - 4.5max

04. SETBACKS * (m)		PROPOSED	By-Law 60-94 (124-2019)
BELOW GRADE	NORTH	0.55m	
	EAST	0.60m	
	SOUTH	1.2m	
	WEST	0.15m	
ABOVE GRADE	NORTH	3.0m	3.0m
	EAST	3.0m	3.0m
	SOUTH	3.0m	3.0m
	WEST	3.0m	4.5m

05. UNIT BREAKDOWN	TOWER			T0	WNHOUSE	
RESIDENTIAL UNITS	Studio	4	1%	3 Bedroom	18	100%
	1 Bedroom	195	64%			
	2 Bedroom	102	33%			
	3 Bedroom	6	2%			
SUB TOTAL		307	100%		18	100%
TOTAL			325			

06. PARKING		PROPOSED					IBI Approved Parking Study		
			GF	P1	P2	TOTAL	RATIO	# of UNITS	REQUIRED
	RESIDENTIAL	Studio / 1 Bedroom					0.5	199	99
		2 Bedroom	0	56	143	199	0.75	102	76
		3 Bedroom					1	24	24
	VISITOR		2	80		82	0.25	325	81
_	TOTAL	_				281		_	280

07. BIKE PARKING	PROPOSED	IBI Approved Parking Study			
		RATIO	# of UNITS	REQUIRED	
LONG TERM	221	0.68	325	221	
SHORT TERM	33	0.1	325	33	
TOTAL	254			254	

08. STORAGE LOCKERS			
PROPOSED	178		
		TOTAL # OF UNITS	325

09. ESTABLISHED GRADE		
	103 00M	

1	10. BUILDING HEIGHT (m)	PROPOSED	By-Law 60-94
	TO MAIN ROOF SLAB	22 sty + Mech.	
	TO MECH. PENTHOUSE	22 sty (69.9 M)	

11.AMENITY (m2)	PROPOSED	By-Law 60-94		60-94
		RATIO	# of BEDROOMS	REQ'D
INDOOR	649	N/A	N/A	0
OUTDOOR	975	1	475	475
TOTAL	1,624			475

NOTES:

* setbacks to main building face

** actual unit count may vary depeding on market demand

GENERAL NOTES

- 1. Three buildings proposed as defined in the Ontario Building Code.
- 2. Be advised that should any party, including the applicant or any subsequent owner, apply for more than one condominium corporation encompassing any or all of this development or make an application that results in a land division, Staff may require legal assurances, including but not limited to easements, with respect to the approved services. Such assurances will be determined at the time of application for condominium approval.
- 3. All access driveways to be used by the collection vehicle will be level (+/-8%), have a minimum vertical clearance of 4.4 meters throughout, a minimum 4.5 meters wide throughout and 6 meters wide at point of ingress and egress.
- 4. All overhead doors through which collection vehicles will pass are to have a minimum width of 4 metres and a minimum overhead clearance of 4.4 metres.

LIST OF DRAWIN	NGS
Sheet Number	Sheet Name
A.000	COVER SHEET
A.101	CONTEXT PLAN
A.102	SITE PLAN
A.103	STATISTICS
A.201	P2 UNDERGROUND
A.202	P1 UNDERGROUND
A.301	1ST FLOOR
A.302	2ND FLOOR
A.303	3RD FLOOR
A.304	4TH FLOOR
A.305	5TH FLOOR
A.306	6TH FLOOR
A.307	7TH-22ND FLOOR
A.308	MECHANICAL FLOOR PLAN
A.309	ROOF PLAN
A.401	NORTH ELEVATION
A.402	SOUTH ELEVATION
A.403	WEST ELEVATION
A.404	EAST ELEVATION
A.501	BUILDING SECTION A
A.502	BUILDING SECTION B
A.601	PRESPECTIVE VIEWS
A.602	PRESPECTIVE VIEWS
A.603	PRESPECTIVE VIEWS
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KEYPLAN



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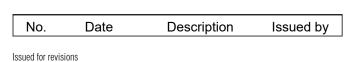
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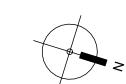
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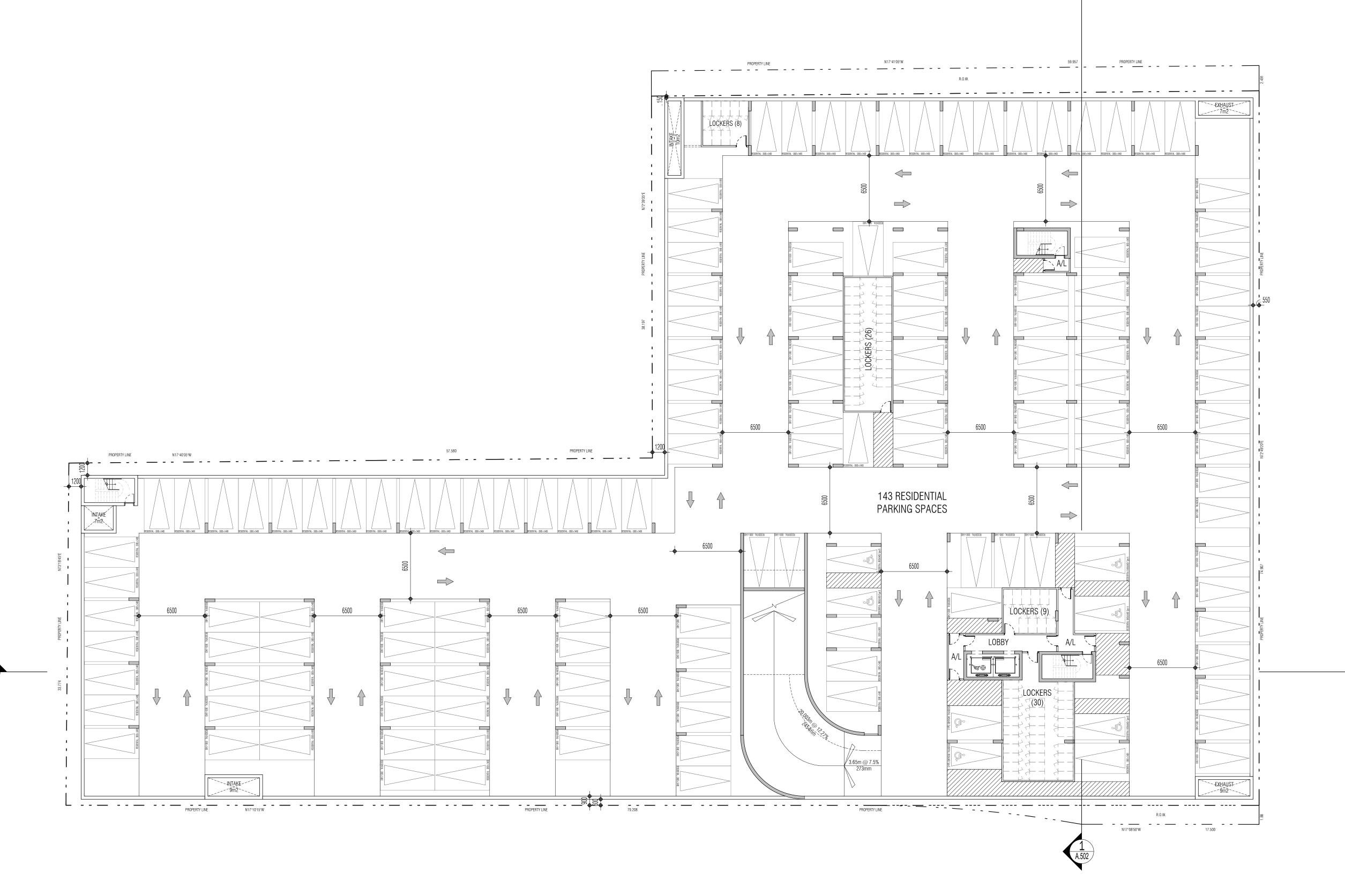
Albany Street Investments

All	Jany Street investments Ltu		
Oshawa		Ontario	
Project Architect:	B.Graziani		
Assistant Designer:	J.L.		
Drawn By:	J.L.		
Checked By:	D.B. / G.C.		
Plot Date:	Nov.01. 2024		
Job#	1893.21		

STATISTICS



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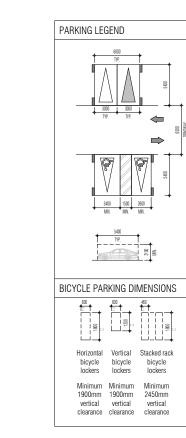
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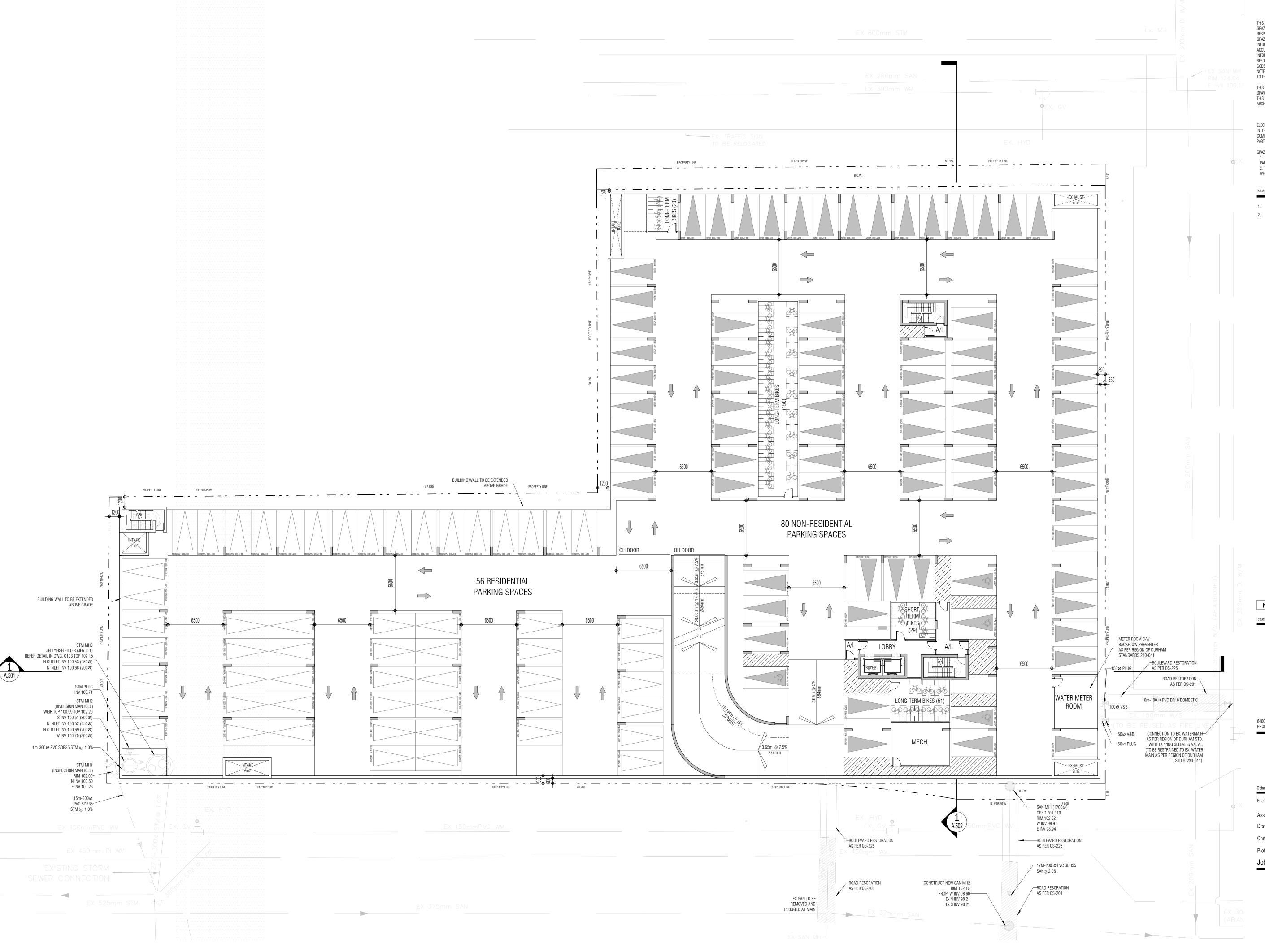
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Albany Street Investments Ltd

Oshawa		Ontario
Project Architect :	B.Graziani	
Assistant Designer:	J.L.	
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P2 UNDERGROUND





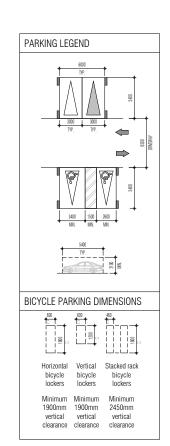
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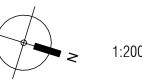
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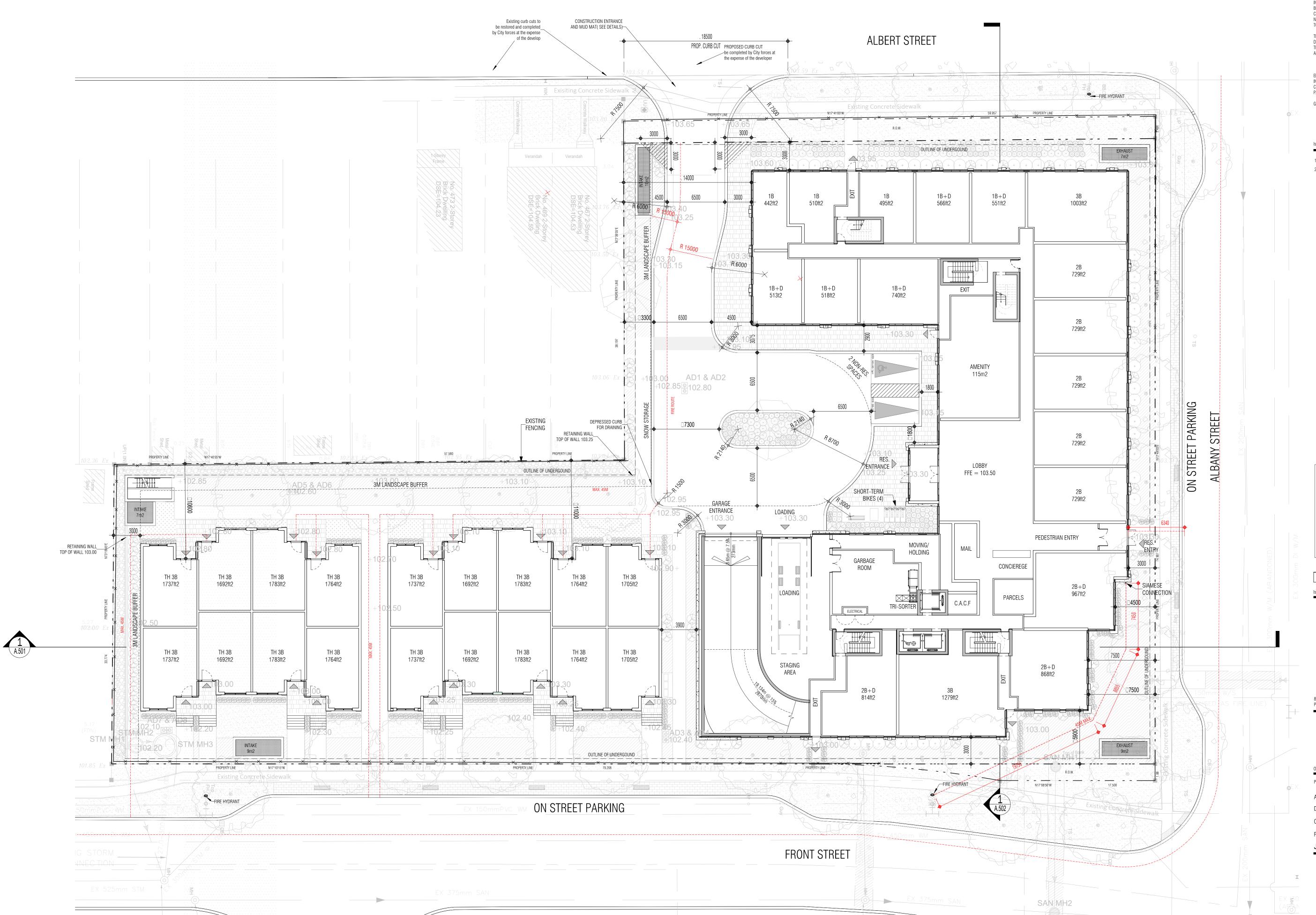
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P1 UNDERGROUND





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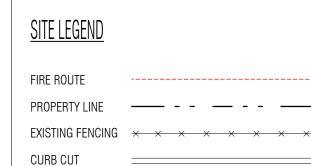
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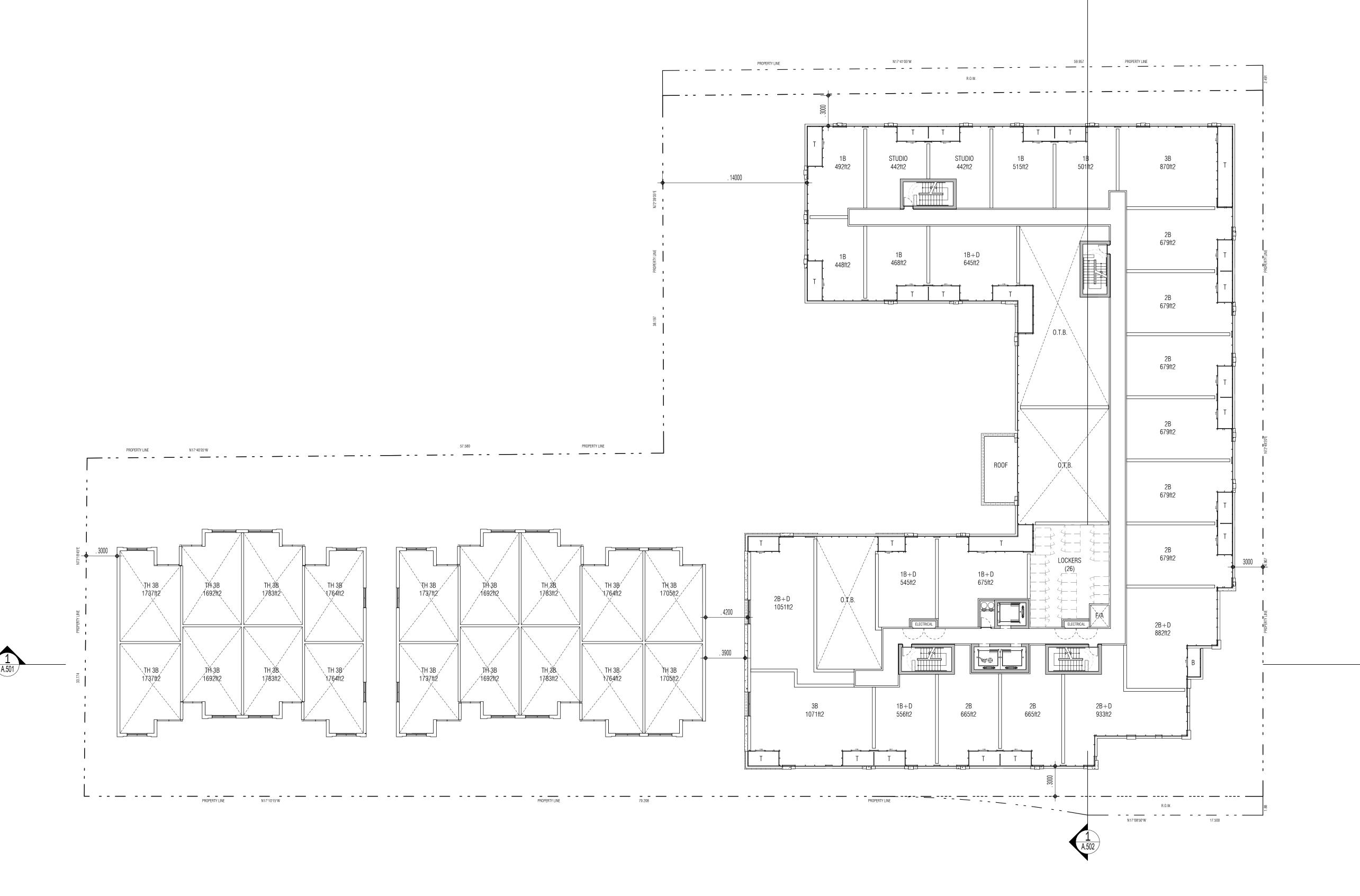
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1ST FLOOR





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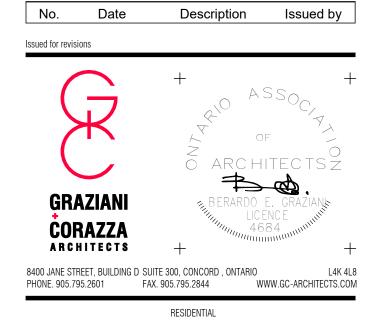
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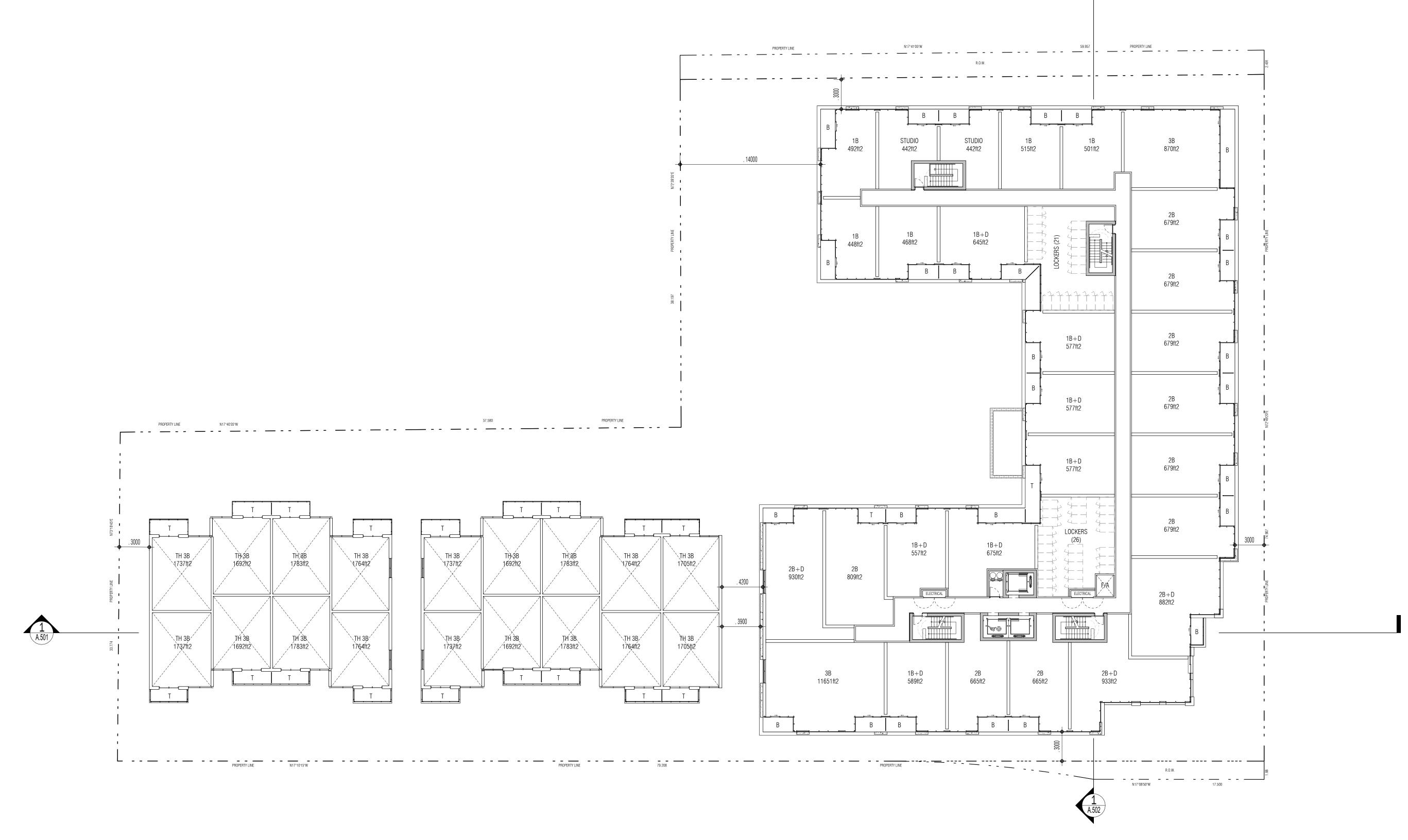
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2ND FLOOR





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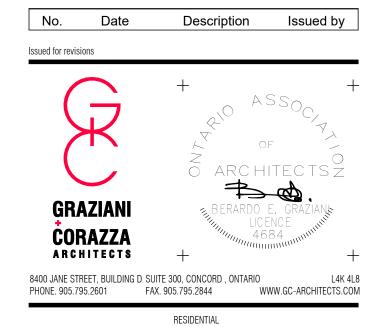
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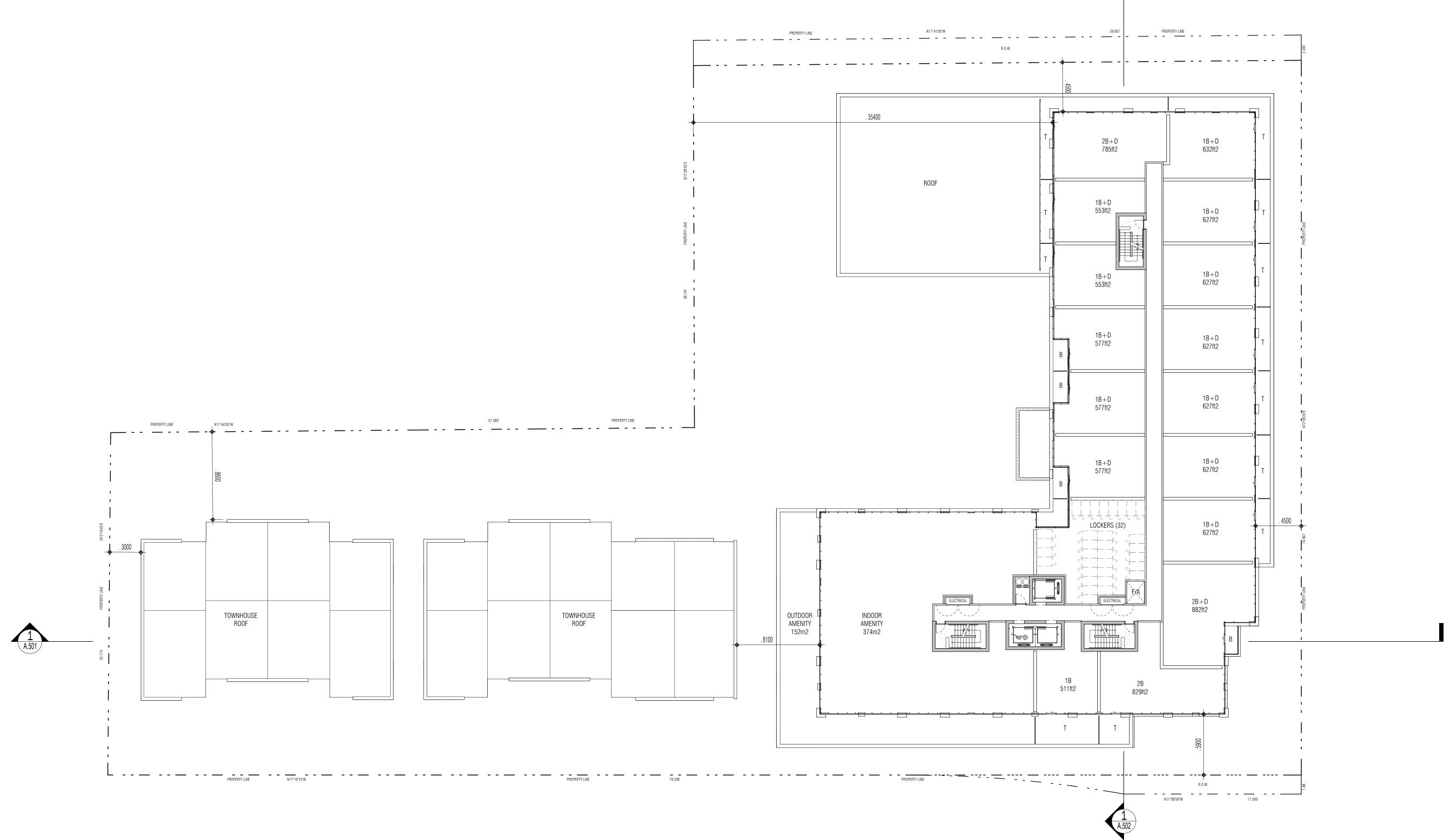
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3RD FLOOR





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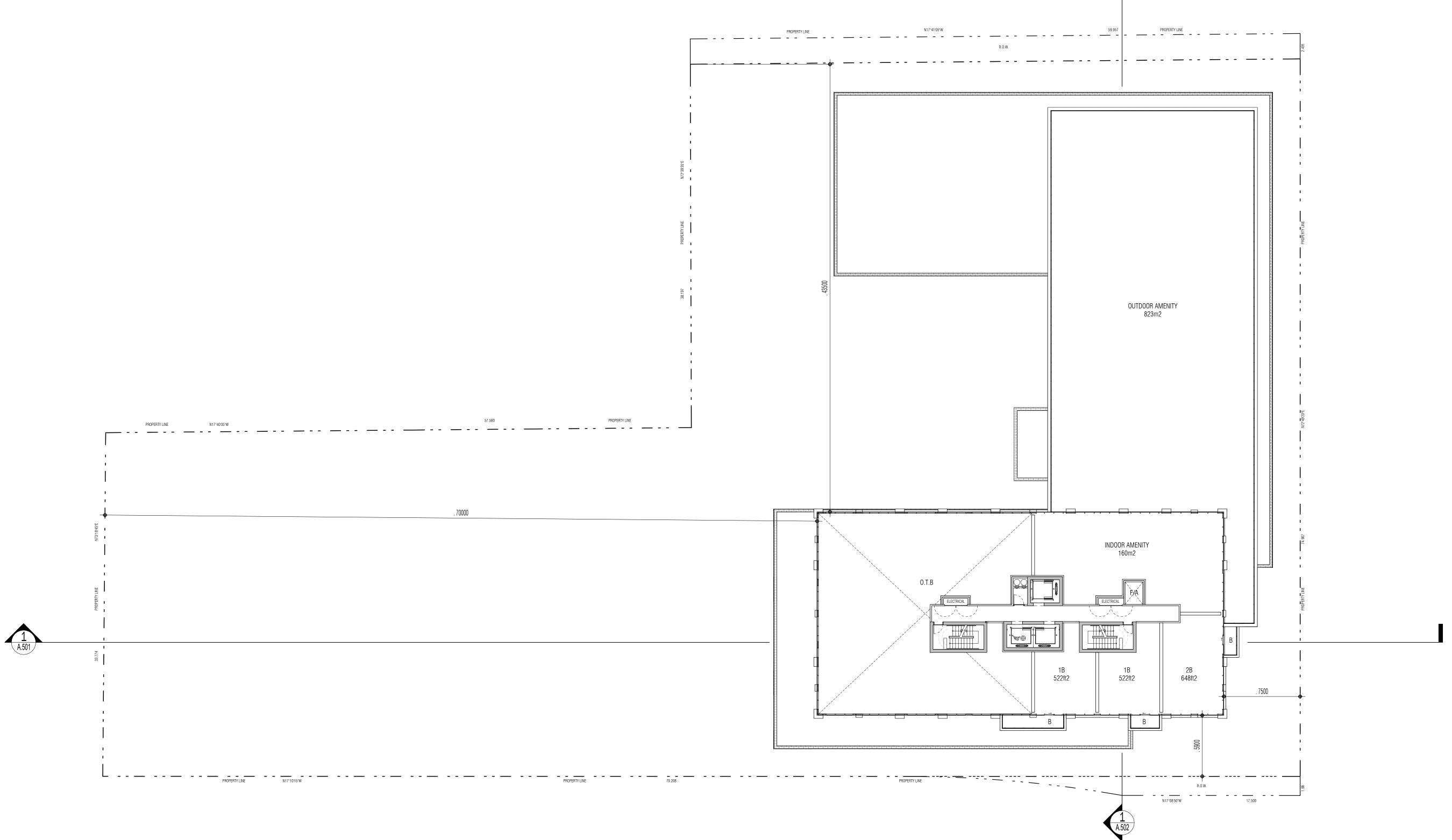
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4TH FLOOR





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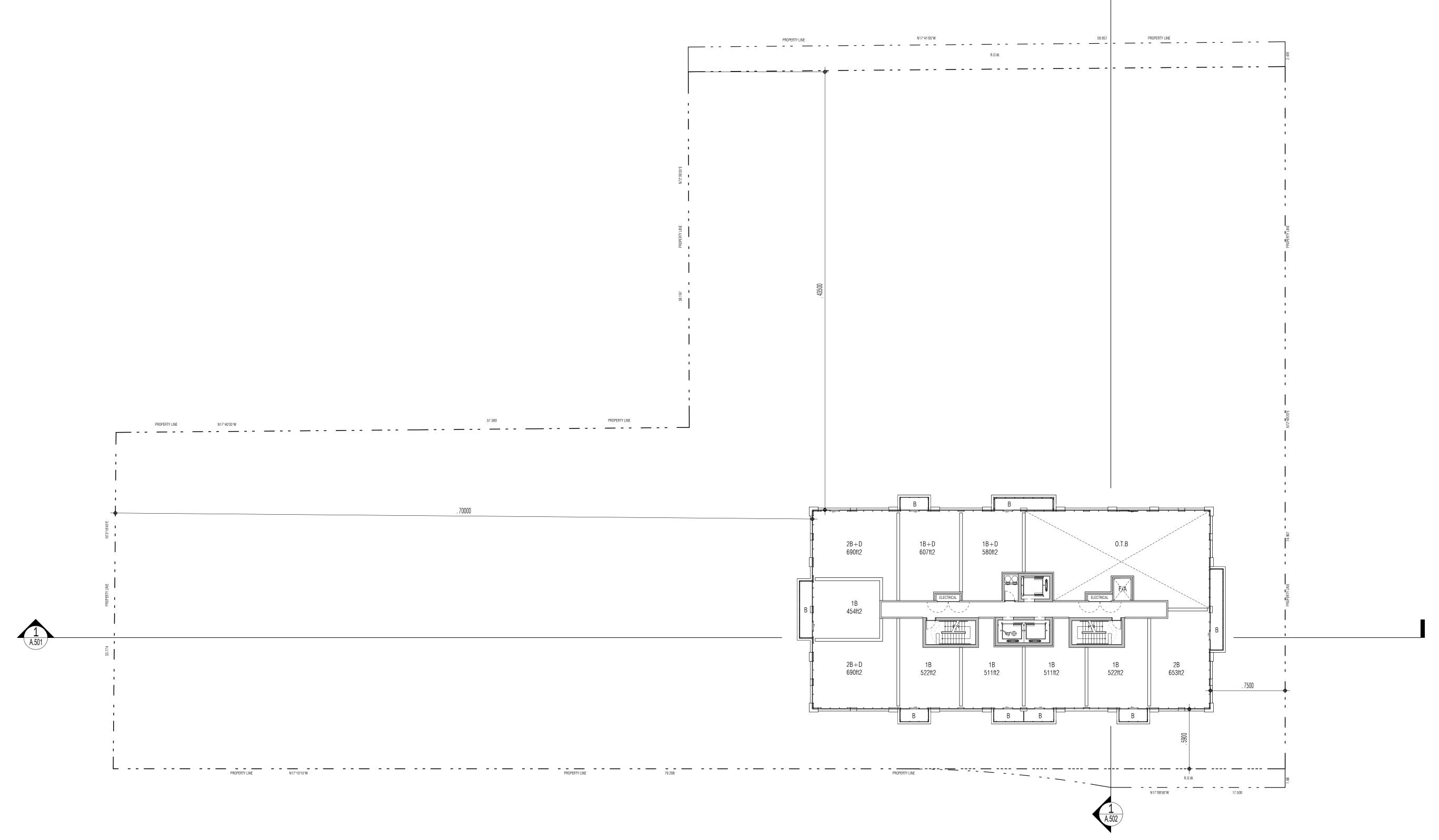
63 Albany Street

Albany Street Investments Ltd

Oshawa		Ontario
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
Checked By:	D.B. / G.C.	
Plot Date :	Nov.01. 2024	
Job#	1893.21	

5TH FLOOR





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	Issua	nces	
	1.	APR.01.2022	ISSUED FOR REZONING
	2.	NOV.01.2024	ISSUED FOR REZONING



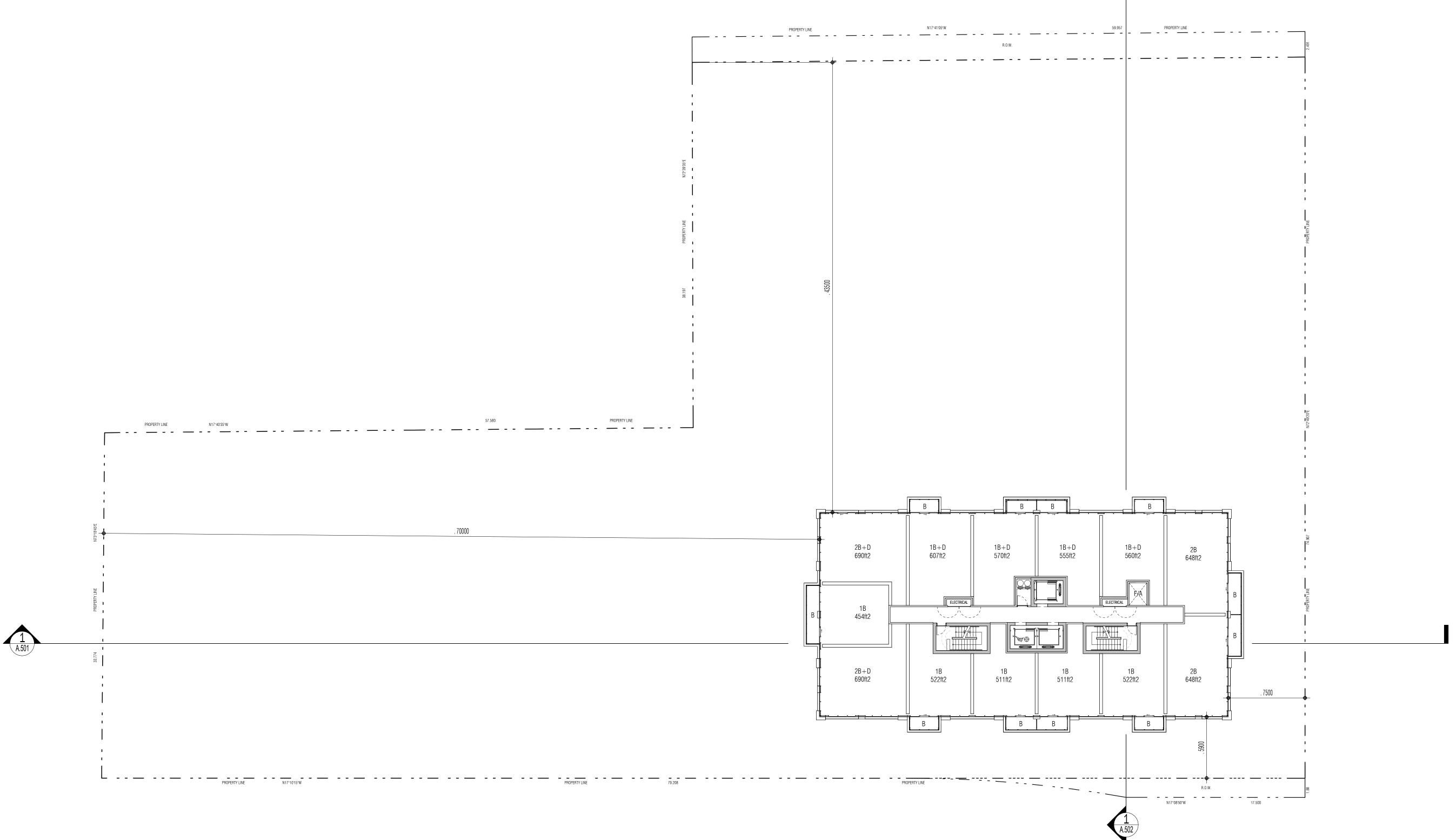
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Albany Street Investments Ltd

Oshawa		Ontario
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
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Plot Date :	Nov.01. 2024	
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6TH FLOOR





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Issu	ances		
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2. NOV.01.2024 ISSUED FOR REZONING

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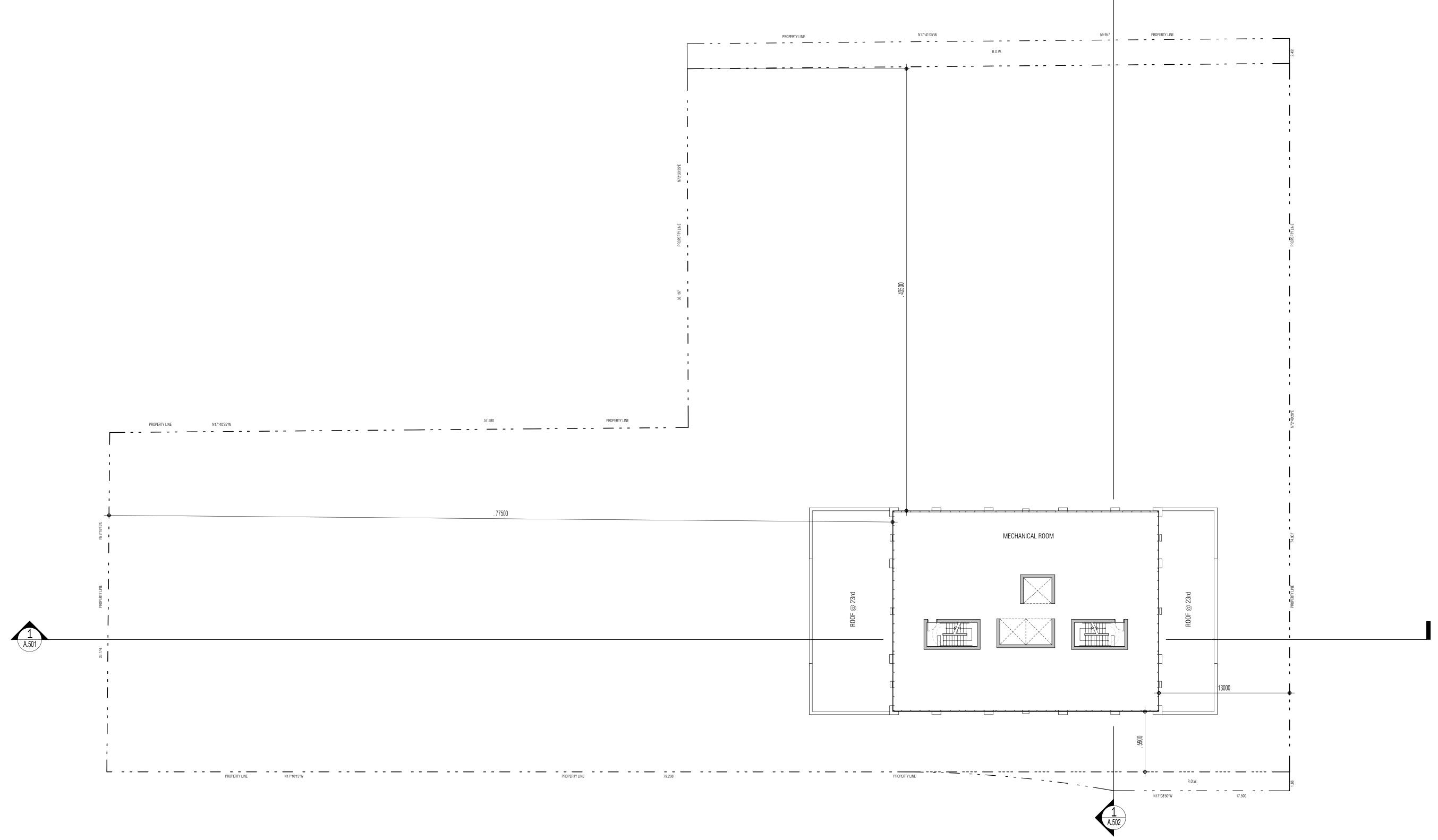
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Albany Street Investments Ltd

Oshawa		Ontario
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
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Plot Date :	Nov.01. 2024	
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7TH-22ND FLOOR





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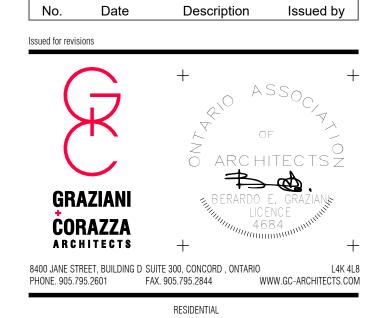
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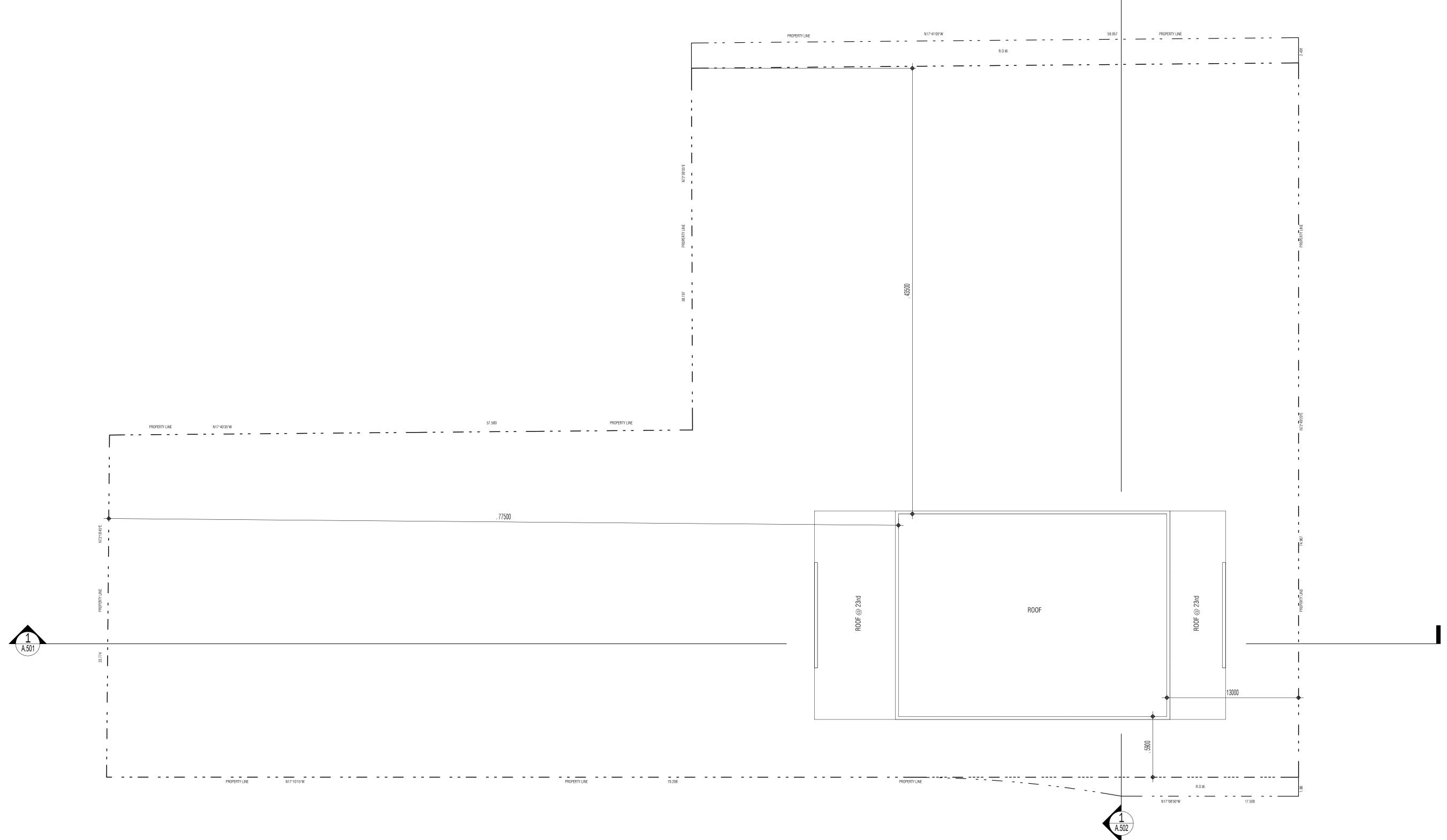
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Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
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MECHANICAL FLOOR PLAN





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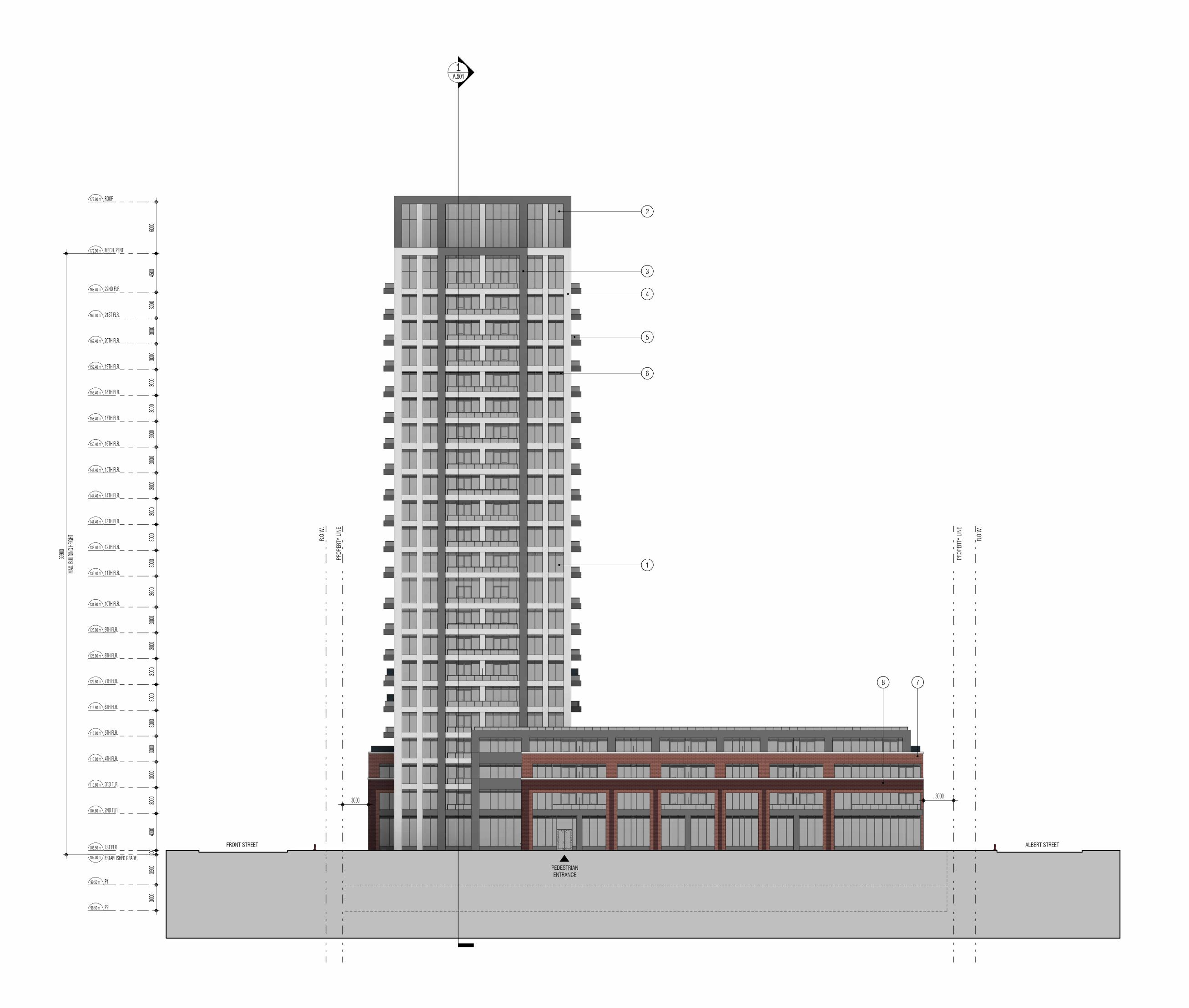
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Albany Street Investments Ltd

Oshawa		Ontario
Project Architect :	B.Graziani	
Assistant Designer:	J.L.	
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ROOF PLAN





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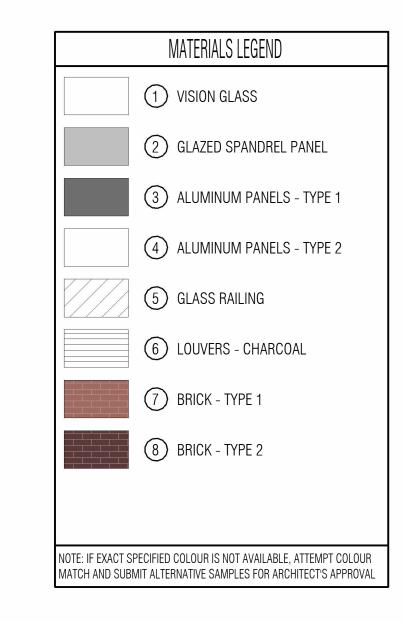
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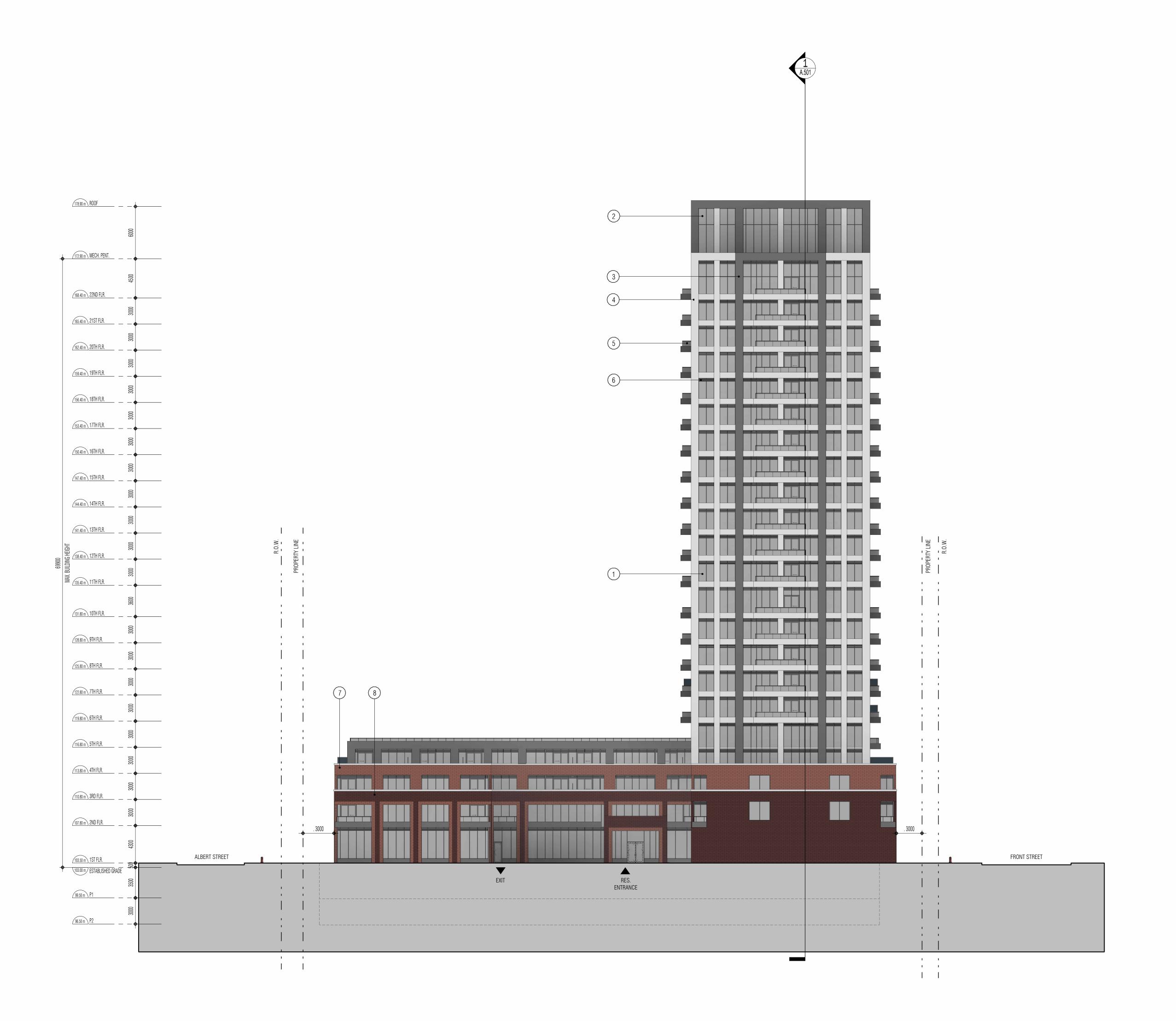
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Oshawa		Ontario
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
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NORTH ELEVATION



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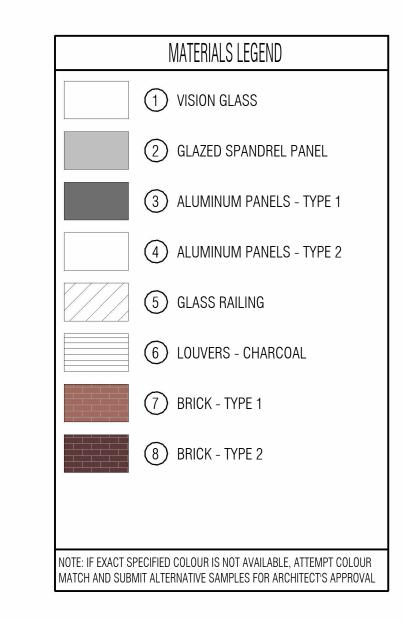
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Oshawa		Ontari
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
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Plot Date:	Nov.01. 2024	
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SOUTH ELEVATION



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② GLAZED SPANDREL PANEL

3 ALUMINUM PANELS - TYPE 1

4 ALUMINUM PANELS - TYPE 2

5 GLASS RAILING

7 BRICK - TYPE 1

8 BRICK - TYPE 2

6 LOUVERS - CHARCOAL

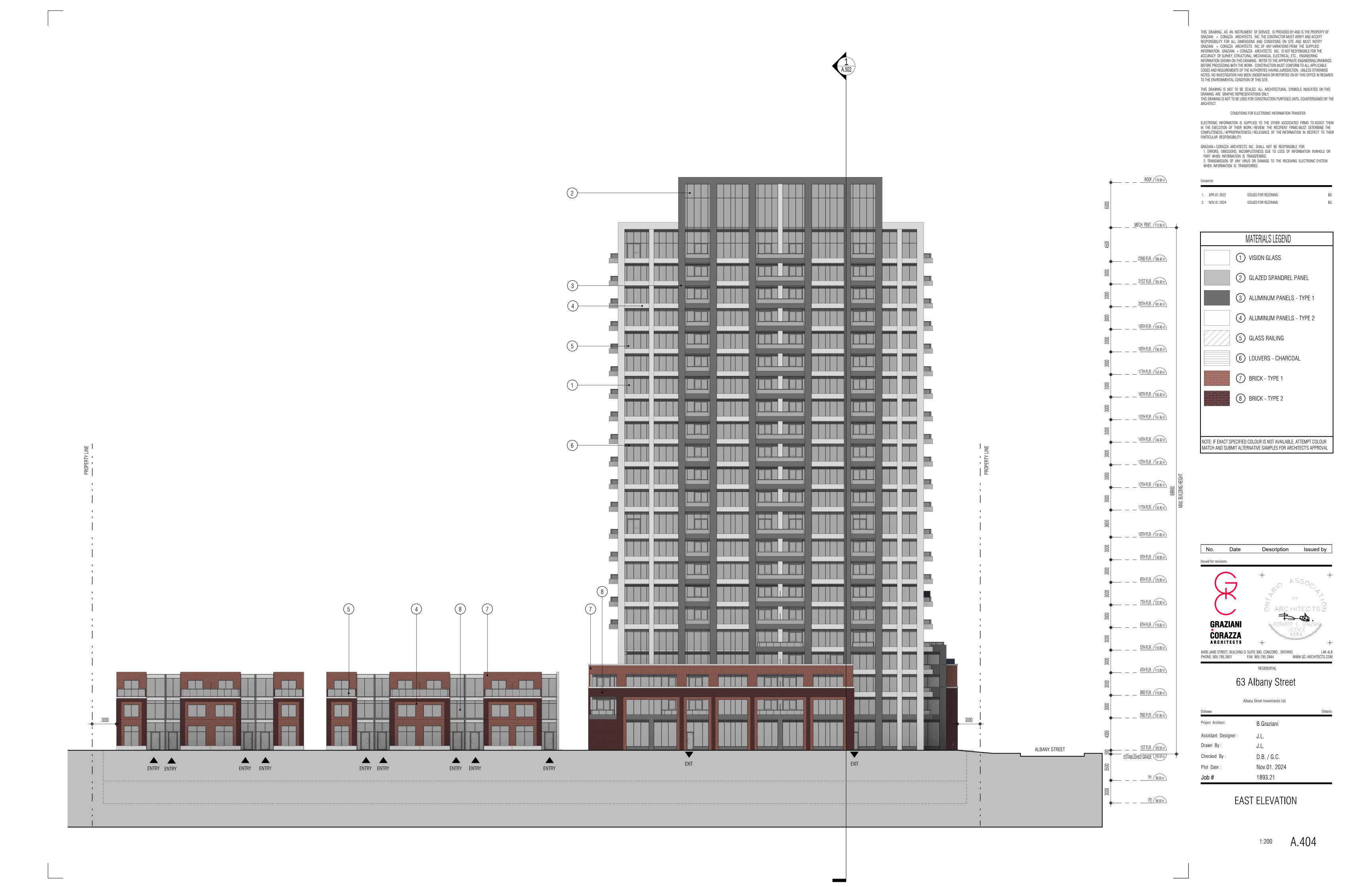


63 Albany Street

Albany Street Investments Ltd

Oshawa		Ontari
Project Architect :	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
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Plot Date :	Nov.01. 2024	
Job#	1893.21	

WEST ELEVATION



ROOF 178.90 m ______ _ _ _ | - _ ____ _ - | | -MPH MPH MECH. PENT. 172.90 m 22ND FLR. (168.40 m) UNIT UNIT 21ST FLR. 165.40 m UNIT 20TH FLR. (162.40 m) UNIT 19TH FLR. (159.40 m) UNIT 18TH FLR. (156.40 m) UNIT |UNIT||UNIT 17TH FLR. (153.40 m) UNIT 16TH FLR. (150.40 m) UNIT UNIT 15TH FLR. (147.40 m) UNIT 14TH FLR. (144.40 m) UNIT UNIT |UNIT| UNIT UNIT 13TH FLR. (141.40 m) 12TH FLR. (138.40 m) UNIT 11TH FLR. 135.40 m UNIT | |UNIT| UNIT 10TH FLR. (131.80 m) UNIT UNIT |UNIT||UNIT 9TH FLR. (128.80 m) UNIT | UNIT |UNIT| UNIT 8TH FLR. 125.80 m |UNIT| UNIT UNIT 7TH FLR. 122.80 m STAIR SHAFT STAIR SHAFT UNIT | |UNIT||UNIT 6TH FLR. (119.80 m) UNIT | 5TH FLR. (116.80 m) **AMENITY** UNIT UNIT 4TH FLR. 113.80 m T.H. T.H. T.H. T.H. T.H. T.H. T.H. UNIT CORRIDOR UNIT UNIT 3RD FLR. (110.80 m) T.H. T.H. T.H. T.H. T.H. UNIT UNIT T.H. T.H. T.H. T.H. 2ND FLR. (107.80 m) T.H. T.H. T.H. T.H. T.H. T.H. T.H. T.H. T.H. RAMP LOADING UNIT ALBANY STREET 1ST FLR. (103.50 m) ESTABLISHED GRADE 103.00 m PARKING RAMP PARKING PARKING PARKING P1 99.50 m RAMP PARKING LOCKERS PARKING P2 96.50 m

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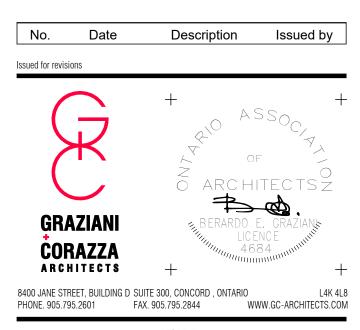
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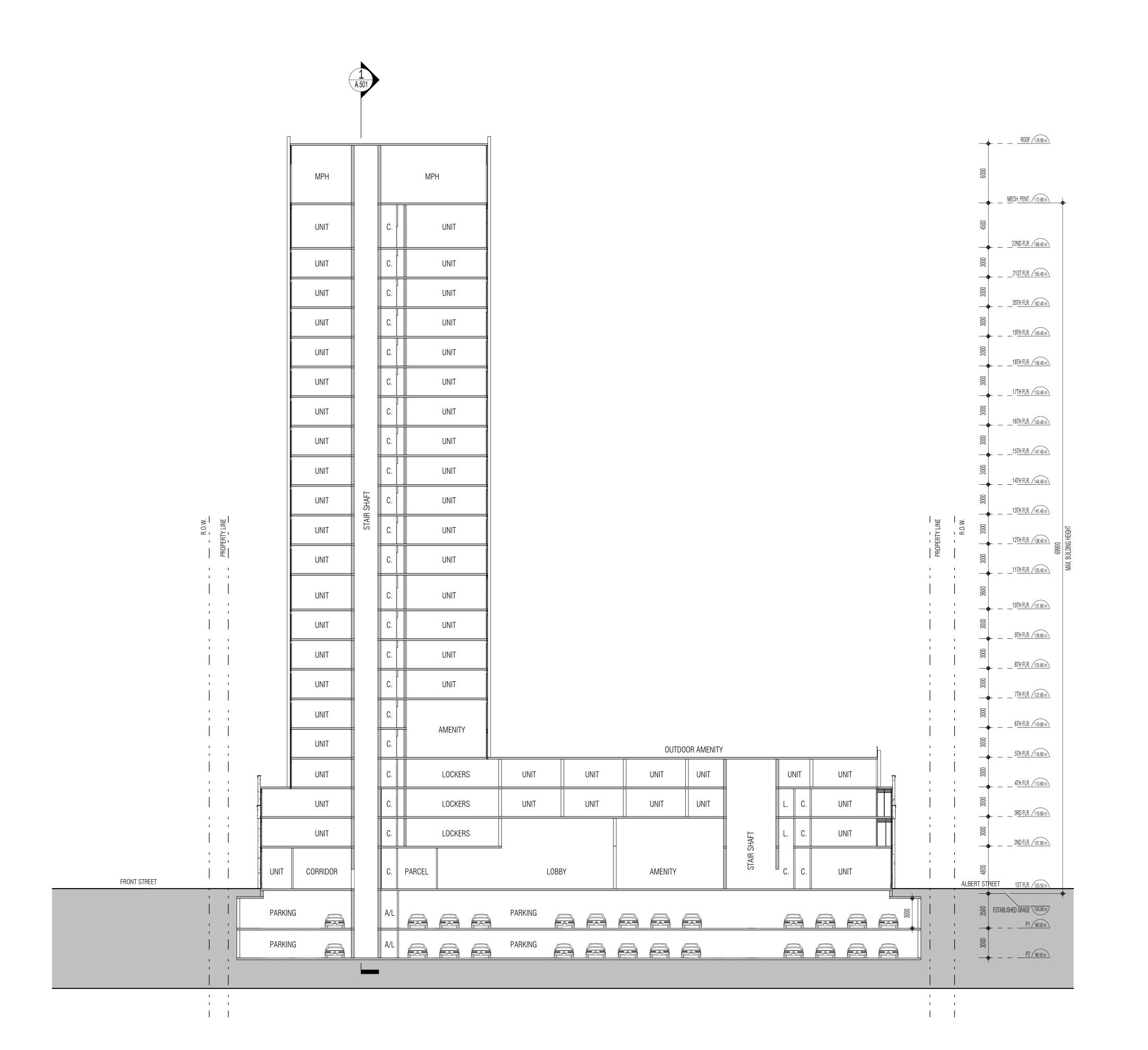


63 Albany Street

Albany Street Investments Ltd

Oshawa		Ontario
Project Architect :	B.Graziani	
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Plot Date :	Nov.01. 2024	
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BUILDING SECTION A



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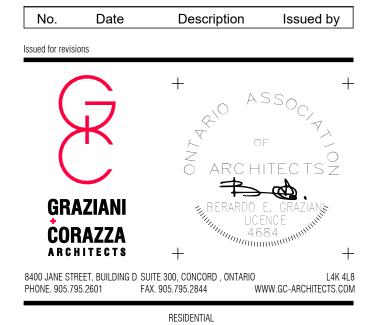
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BUILDING SECTION B

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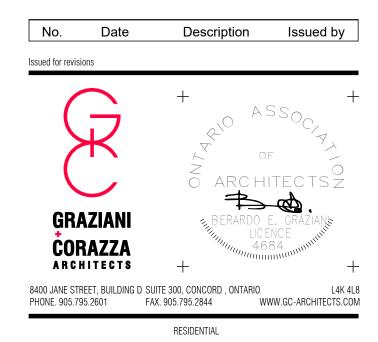
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PRESPECTIVE VIEWS



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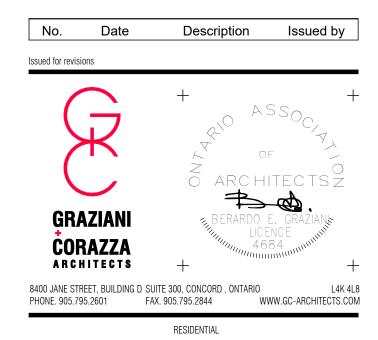
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ΛII	Jany Street investments Ltd	
Oshawa		
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PRESPECTIVE VIEWS

1:200 A.602



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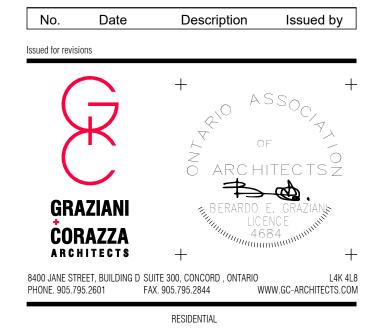
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1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION INWHOLE OR PART WHEN INFORMATION IS TRANSFERRED.

2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issua			
1.	APR.01.2022	ISSUED FOR REZONING	BG
2.	NOV.01.2024	ISSUED FOR REZONING	BG



63 Albany Street

Albany Street Investments Ltd

Oshawa		Ontari
Project Architect:	B.Graziani	
Assistant Designer:	J.L.	
Drawn By:	J.L.	
Checked By:	D.B. / G.C.	
Plot Date :	Nov.01. 2024	
Job#	1893.21	

PRESPECTIVE VIEWS

1:200 A.603