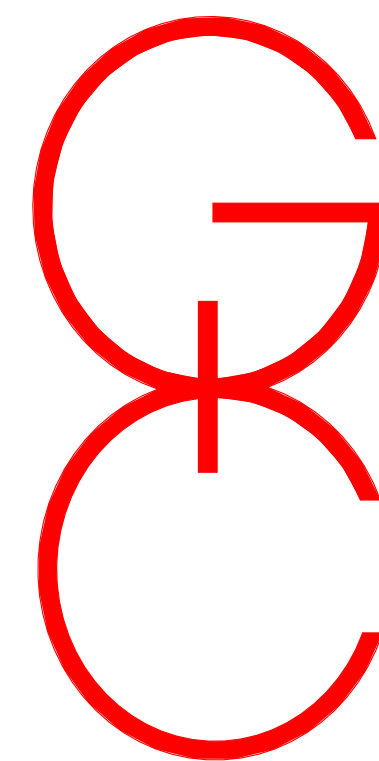




PROPOSED DEVELOPMENT
63 ALBANY ST.
 ALBANY STREET INVESTMENTS LTD.

OSHAWA

ONTARIO



GRAZIANI
 +
 CORAZZA
 ARCHITECTS INC.

8400 JANE STREET, BUILDING D - SUITE 300 CONCORD, ON L4K 4L8
 T. 905.795.2601 F. 905.795.2844 WWW.GC-ARCHITECTS.COM

CLIENT
 ALBANY STREET INVESTMENTS LTD.
 980 YONGE STREET, SUITE 30
 TORONTO, ONTARIO
 M4W 3Z8
 T. 416.924.4680
 F. 416.924.4685

ARCHITECT
 GRAZIANI + CORAZZA ARCHITECTS INC.
 8400 JANE STREET, BUILDING D - SUITE 300
 CONCORD, ONTARIO
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 T. 905.795.2601
 F. 905.795.2844
 bgraziani@gc-architects.com

CIVIL ENGINEER
 JAIN
 7405 EAST DANBRO CRESCENT
 MISSISSAUGA, ONTARIO
 L5N 6P8
 T. 905.285.9900 EXT225
 yayub@jainconsultants.com

SUN/SHADOW
 R.BOUWMEESTER & ASSOCIATES
 BARRIE, ONTARIO
 M5V 1M9
 T. 705.726.3392
 rba@sunposition.com

LANDSCAPE ARCHITECT
 WHITEHOUSE URBAN DESIGN INC.
 3 STUDEBAKER PLACE, UNIT 1
 HAMILTON, ONTARIO
 L8L 0C8
 T. 905.979.1739
 leann@whitehouseurbandesign.ca
 kathy@whitehouseurbandesign.ca

TRANSPORTATION
 NEX TRANS
 520 INDUSTRIAL PARKWAY SOUTH, SUITE 201
 AURORA, ONTARIO
 L4G 6W8
 T. 905.503.2563 EXT207
 sam@nextrans.ca
 richard@nextrans.ca

PLANNING
 URBANSOLUTIONS PLANNING AND LAND DEV. CONS. INC.
 3 STUDEBAKER PLACE, UNIT 1
 HAMILTON, ONTARIO
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 T. 905.546.1087
 Inooren@urbansolutions.info.ca
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GRAZIANI CORAZZA ARCHITECTS
 BERARDO E. GRAZIANI
 LICENCE 45581

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RESIDENTIAL

63 Albany Street

Albany Street Investments Ltd

Ontario

Project Architect: B. Graziani
 Assistant Designer: J.L.
 Drawn By: J.L.
 Checked By: D.B. / G.C.
 Plot Date: Nov.01.2024
 Job #: 1893.21

CONTEXT PLAN

1 : 500 A.101

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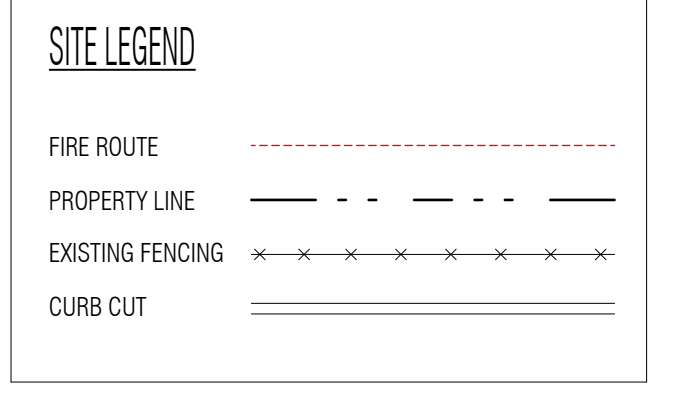
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SITE PLAN

1:200 A.102



CONSTRUCTION ENTRANCE AND MUD MAT (SEE DETAILS)

Existing curb cut to be restored and completed by City forces at the expense of the developer

PROP. CURB CUT
 PROPOSED CURB CUT
 Are completed by City forces at the expense of the developer

ALBANY STREET

FRONT STREET

ALBERT STREET

PROJECT STATISTICS

JOB No: 1893.21 63 Albany, Oshawa
 DATE: OCT.28.2024

01. SITE STATS		(m2)	(ha)	(ft2)	(ac)	% of site area
SITE AREA	GROSS	6366.25	0.636625	68526	1.5731	
	R.O.W.	195.48	0.019548	2104	0.0483	
	NET	6170.77	0.617077	66422	1.5248	
LOT COVERAGE (GF GCA/NET SITE AREA)						53%
LANDSCAPE OPEN SPACE		2471.25	0.247125	26600	0.6107	

02. G.F.A. (m2)		TOWER (By-Law 60-94)	TOWNHOUSE (By-Law 60-94)
RESIDENTIAL		19,979.66	2,868.78
TOTAL			22,848.44

03. F.S.I		PROPOSED	By-Law 60-94
		3.70	3.5 - 4.5max

04. SETBACKS * (m)		PROPOSED	By-Law 60-94 (124-2019)
BELOW GRADE	NORTH	0.55m	
	EAST	0.60m	
	SOUTH	1.2m	
	WEST	0.15m	
ABOVE GRADE	NORTH	3.0m	3.0m
	EAST	3.0m	3.0m
	SOUTH	3.0m	3.0m
	WEST	3.0m	4.5m

05. UNIT BREAKDOWN		TOWER	TOWNHOUSE
RESIDENTIAL UNITS	Studio	4	1%
	1 Bedroom	195	64%
	2 Bedroom	102	33%
	3 Bedroom	6	2%
SUB TOTAL	307	100%	18
TOTAL			325

06. PARKING		PROPOSED				IBI Approved Parking Study		
		GF	P1	P2	TOTAL	RATIO	# of UNITS	REQUIRED
RESIDENTIAL	Studio / 1 Bedroom					0.5	199	99
	2 Bedroom	0	56	143	199	0.75	102	76
	3 Bedroom					1	24	24
VISITOR		2	80		82	0.25	325	81
TOTAL					281			280

07. BIKE PARKING		PROPOSED				IBI Approved Parking Study		
						RATIO	# of UNITS	REQUIRED
LONG TERM					221	0.68	325	221
SHORT TERM					33	0.1	325	33
TOTAL					254			254

08. STORAGE LOCKERS		PROPOSED	TOTAL # OF UNITS
		178	325

09. ESTABLISHED GRADE		PROPOSED
		103.00M

10. BUILDING HEIGHT (m)		PROPOSED	By-Law 60-94
TO MAIN ROOF SLAB		22 sty + Mech.	
TO MECH. PENTHOUSE		22 sty (69.9 M)	

11. AMENITY (m2)		PROPOSED	By-Law 60-94	
			RATIO	# of BEDROOMS
INDOOR		649	N/A	N/A
OUTDOOR		975	1	475
TOTAL		1,624		475

NOTES:
 * setbacks to main building face
 ** actual unit count may vary depending on market demand

GENERAL NOTES

- Three buildings proposed as defined in the Ontario Building Code.
- Be advised that should any party, including the applicant or any subsequent owner, apply for more than one condominium corporation encompassing any or all of this development or make an application that results in a land division, Staff may require legal assurances, including but not limited to easements, with respect to the approved services. Such assurances will be determined at the time of application for condominium approval.
- All access driveways to be used by the collection vehicle will be level (+/- 8%), have a minimum vertical clearance of 4.4 meters throughout, a minimum 4.5 meters wide throughout and 6 meters wide at point of ingress and egress.
- All overhead doors through which collection vehicles will pass are to have a minimum width of 4 metres and a minimum overhead clearance of 4.4 metres.

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LIST OF DRAWINGS

Sheet Number	Sheet Name
A.000	COVER SHEET
A.101	CONTEXT PLAN
A.102	SITE PLAN
A.103	STATISTICS
A.201	P2 UNDERGROUND
A.202	P1 UNDERGROUND
A.301	1ST FLOOR
A.302	2ND FLOOR
A.303	3RD FLOOR
A.304	4TH FLOOR
A.305	5TH FLOOR
A.306	6TH FLOOR
A.307	7TH-22ND FLOOR
A.308	MECHANICAL FLOOR PLAN
A.309	ROOF PLAN
A.401	NORTH ELEVATION
A.402	SOUTH ELEVATION
A.403	WEST ELEVATION
A.404	EAST ELEVATION
A.501	BUILDING SECTION A
A.502	BUILDING SECTION B
A.601	PRESPECTIVE VIEWS
A.602	PRESPECTIVE VIEWS
A.603	PRESPECTIVE VIEWS

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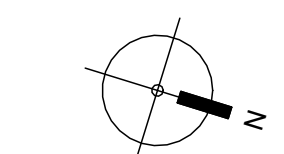
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STATISTICS



A.103

KEYPLAN



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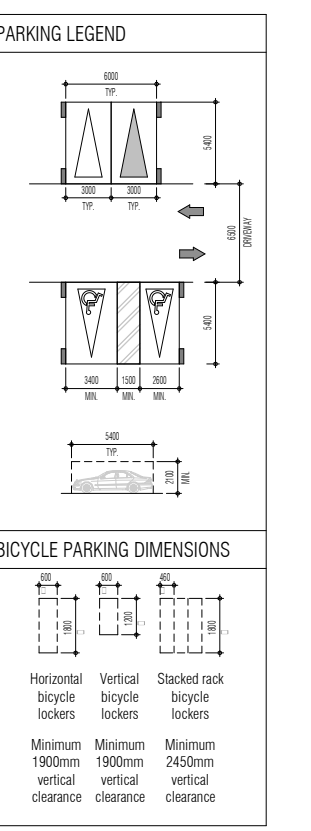
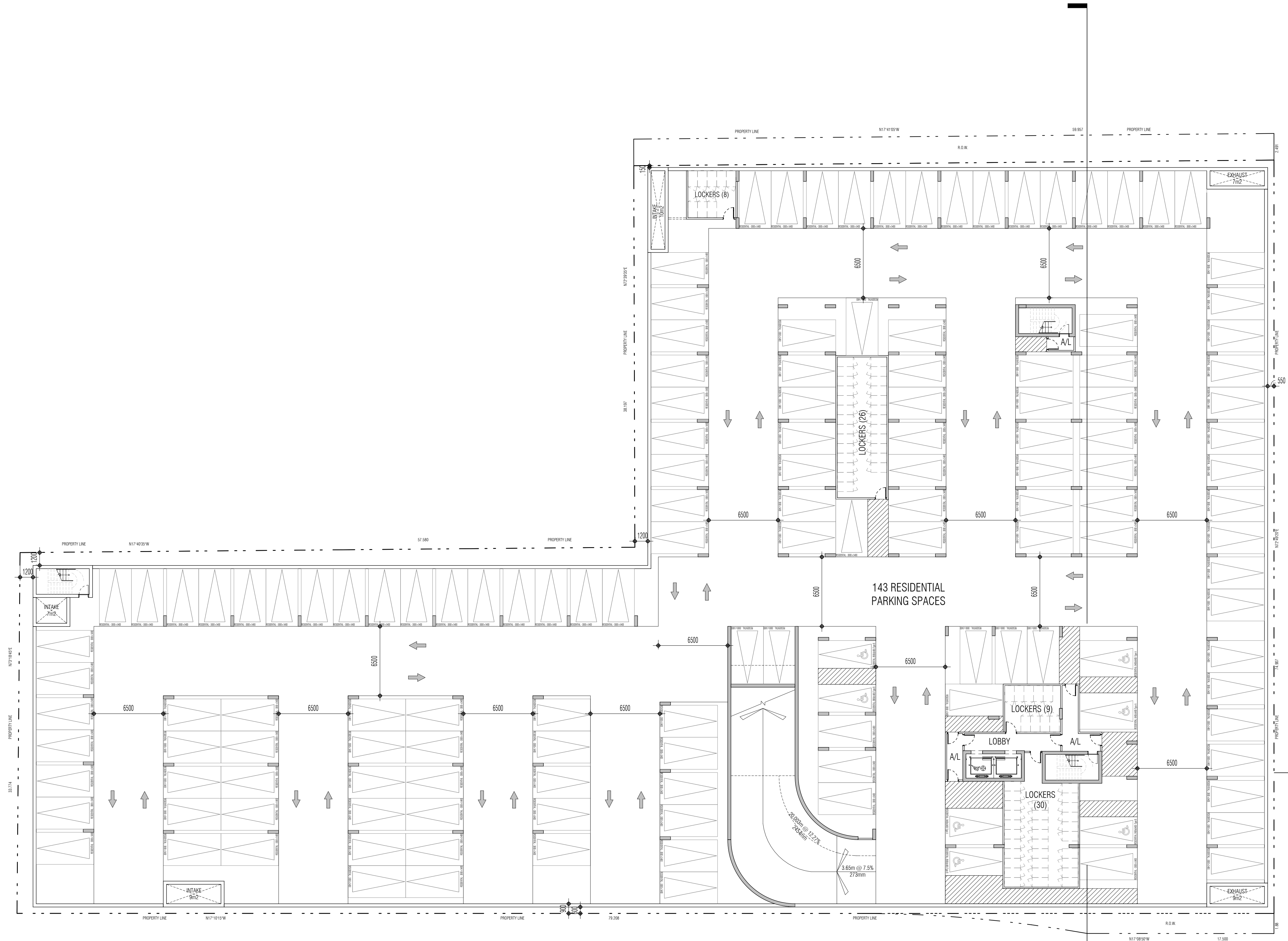
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ONTARIO ASSOCIATION OF ARCHITECTS
BERNARD LICENCE 4531

RESIDENTIAL

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Albany Street Investments Ltd

Ontario Ontario

Project Architect: **B. Graziani**
Assistant Designer: J.L.
Drawn By: J.L.
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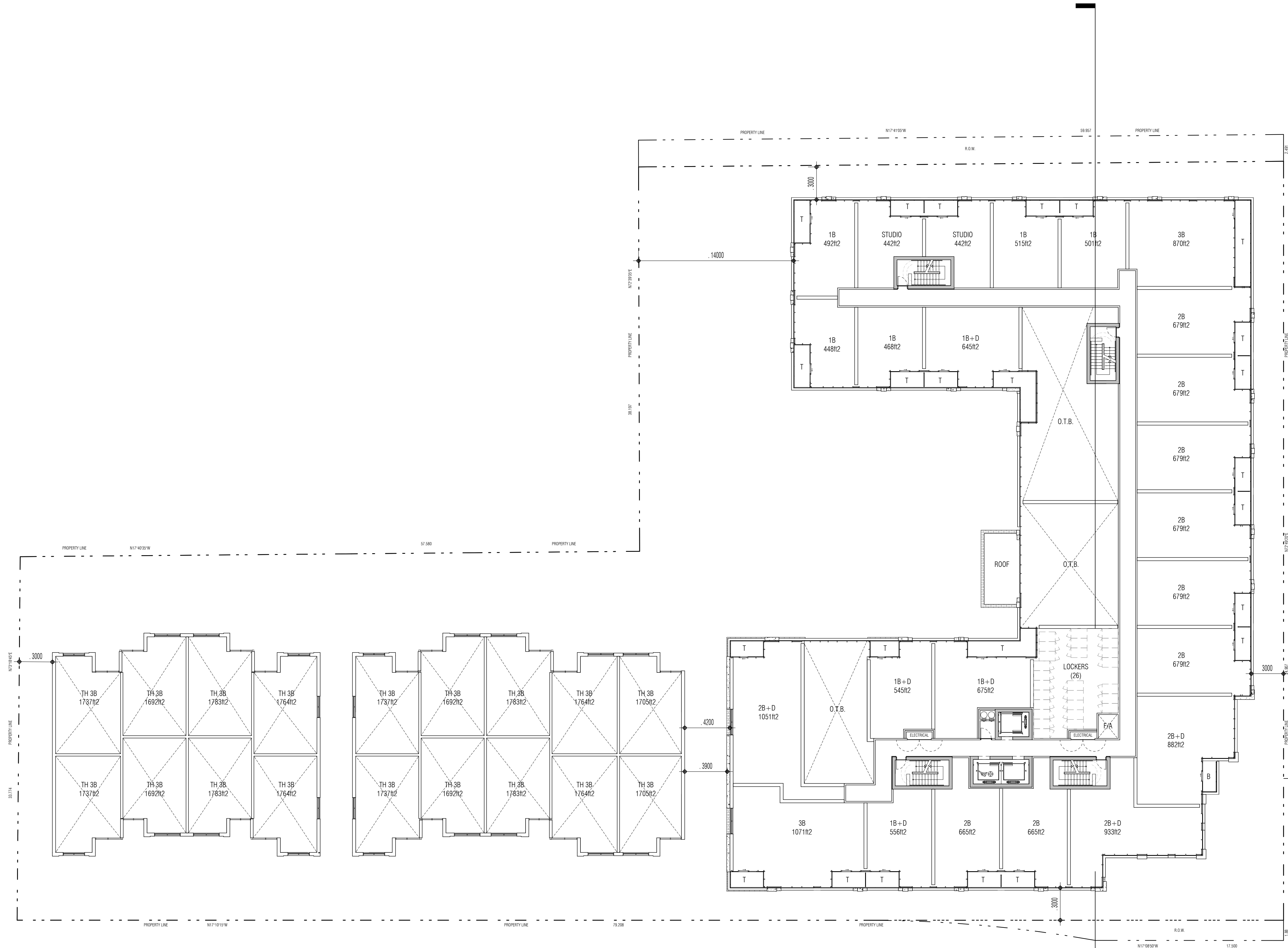
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2.	NOV.01.2024	ISSUED FOR REZONING	B.G.



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GRAZIANI CORAZZA ARCHITECTS
8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

RESIDENTIAL

63 Albany Street

Albany Street Investments Ltd

Ontario Ontario

Project Architect: B. Graziani
Assistant Designer: J.L.
Drawn By: J.L.
Checked By: D.B. / G.C.
Plot Date: Nov.01.2024
Job #: 1893.21

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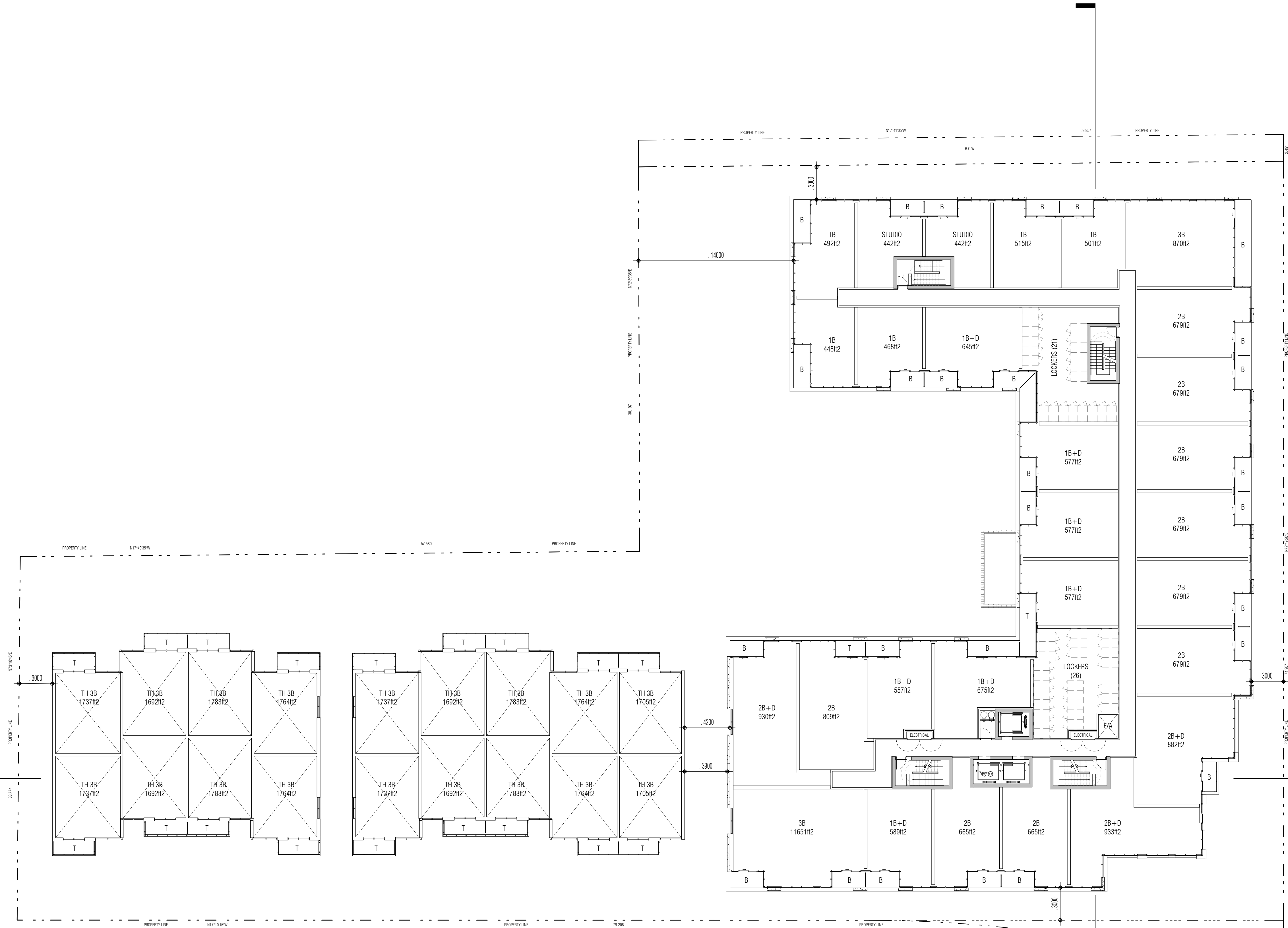
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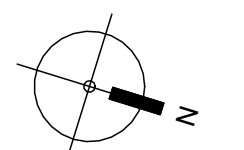
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PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

63 Albany Street

Albany Street Investments Ltd

Project Architect:	B. Graziani
Assistant Designer:	J.L.
Drawn By:	J.L.
Checked By:	D.B. / G.C.
Plot Date:	Nov.01.2024
Job #	1893.21

3RD FLOOR



1 : 200 A.303

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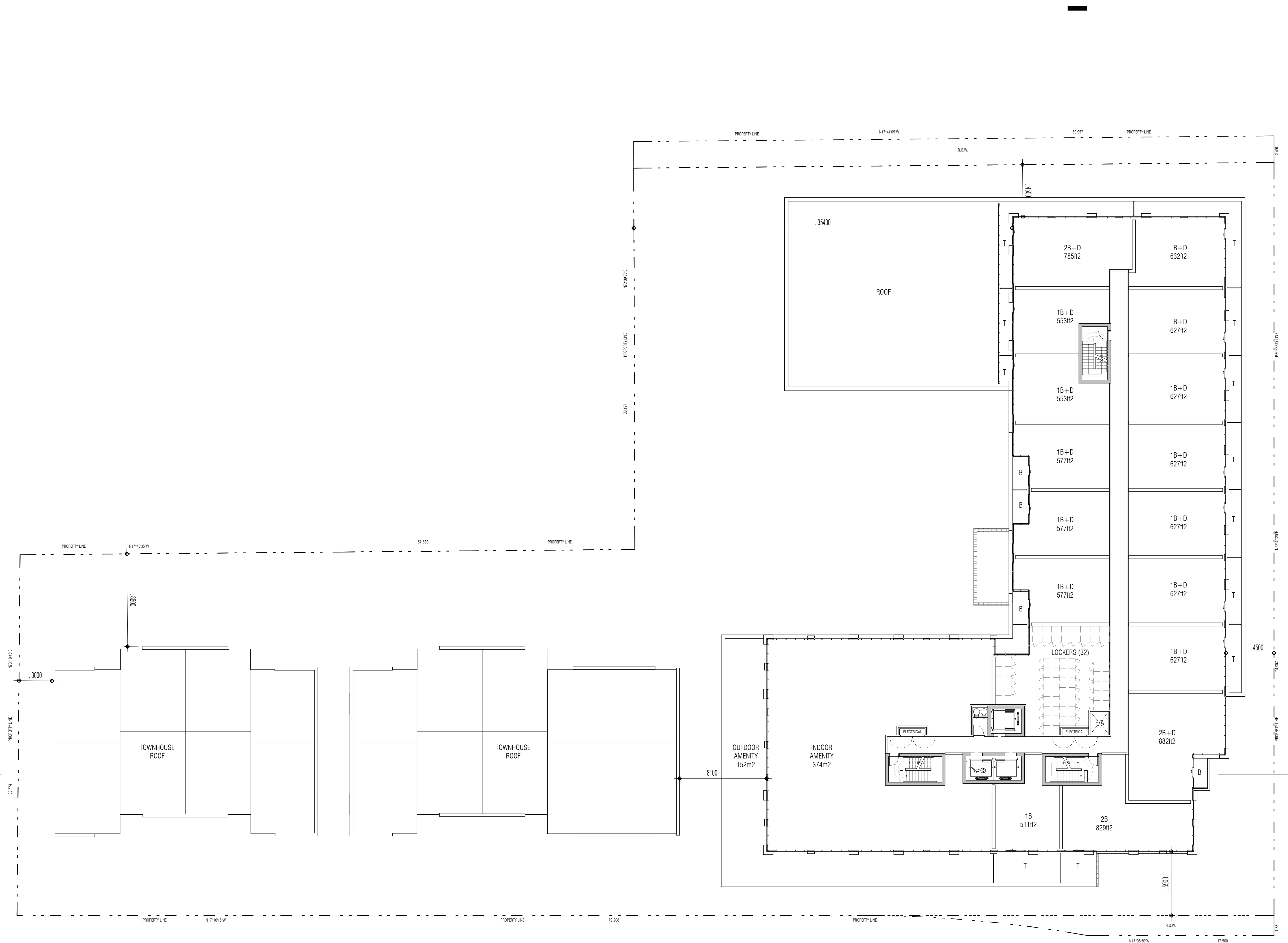
Albany Street Investments Ltd

Ontario Ontario

Project Architect: B.Graziani
 Assistant Designer: J.L.
 Drawn By: J.L.
 Checked By: D.B. / G.C.
 Plot Date: Nov.01. 2024
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4TH FLOOR

1 : 200 A.304



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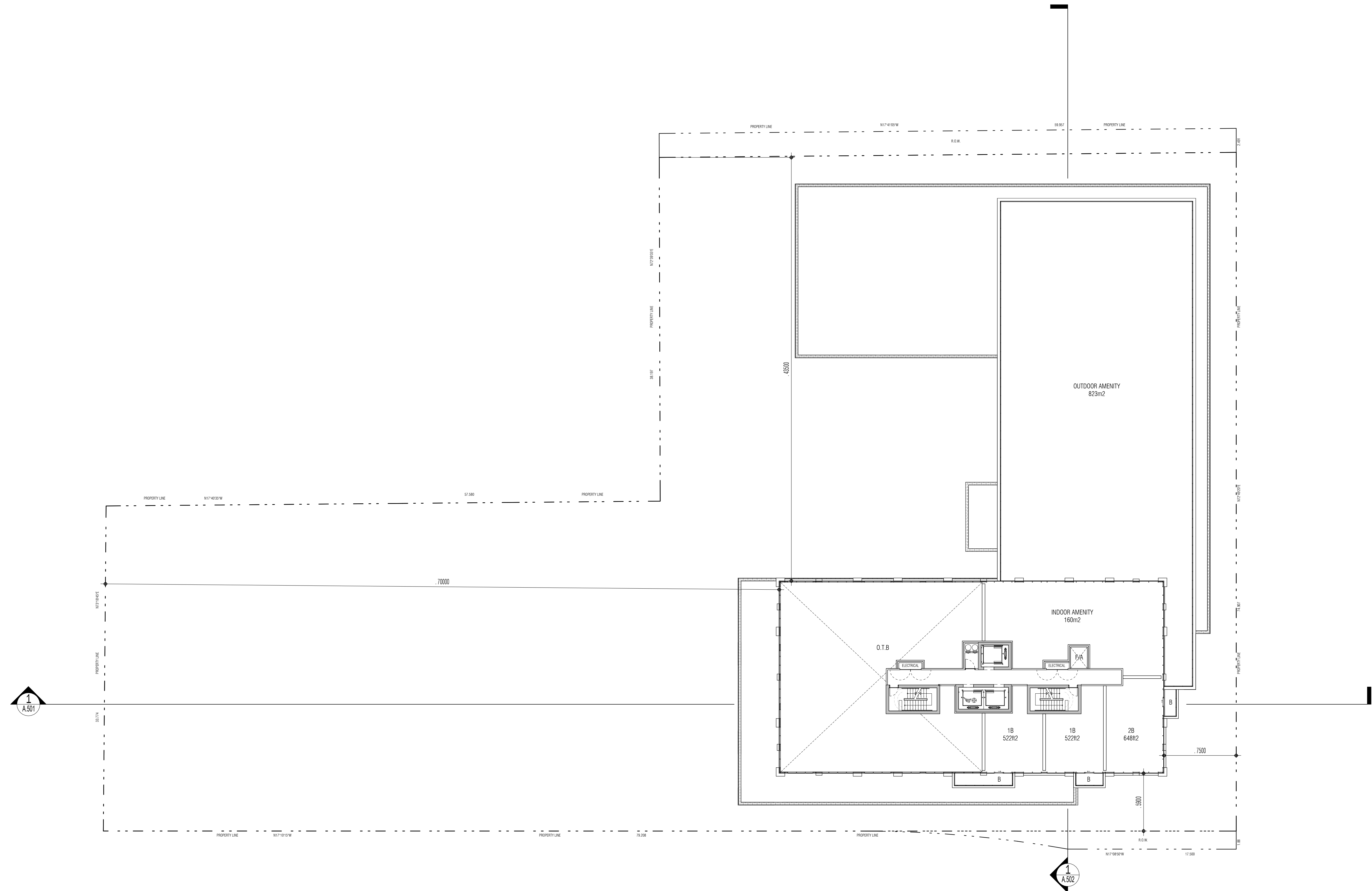
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GRAZIANI CORAZZA ARCHITECTS
BERNARDO E. GRAZIANI ARCHITECT
LICENCE 45914

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Albany Street Investments Ltd

Ontario	Ontario
Project Architect :	B. Graziani
Assistant Designer :	J.L.
Drawn By :	J.L.
Checked By :	D.B. / G.C.
Plot Date :	Nov.01. 2024
Job #	1893.21

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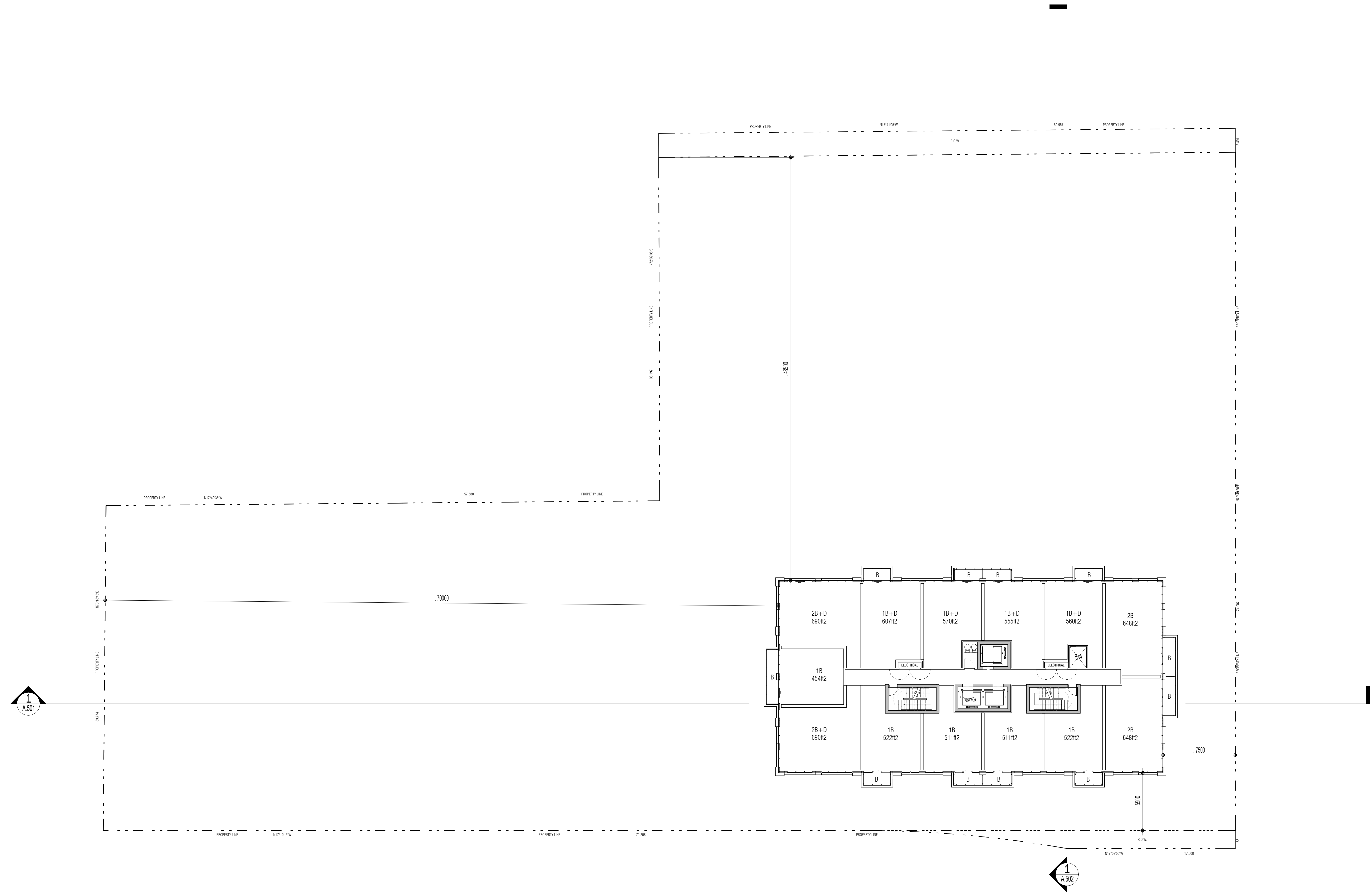
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Albany Street Investments Ltd

Ontario Ontario

Project Architect: B.Graziani
 Assistant Designer: J.L.
 Drawn By: J.L.
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 Plot Date: Nov.01.2024
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7TH-22ND FLOOR

1 : 200 A.307

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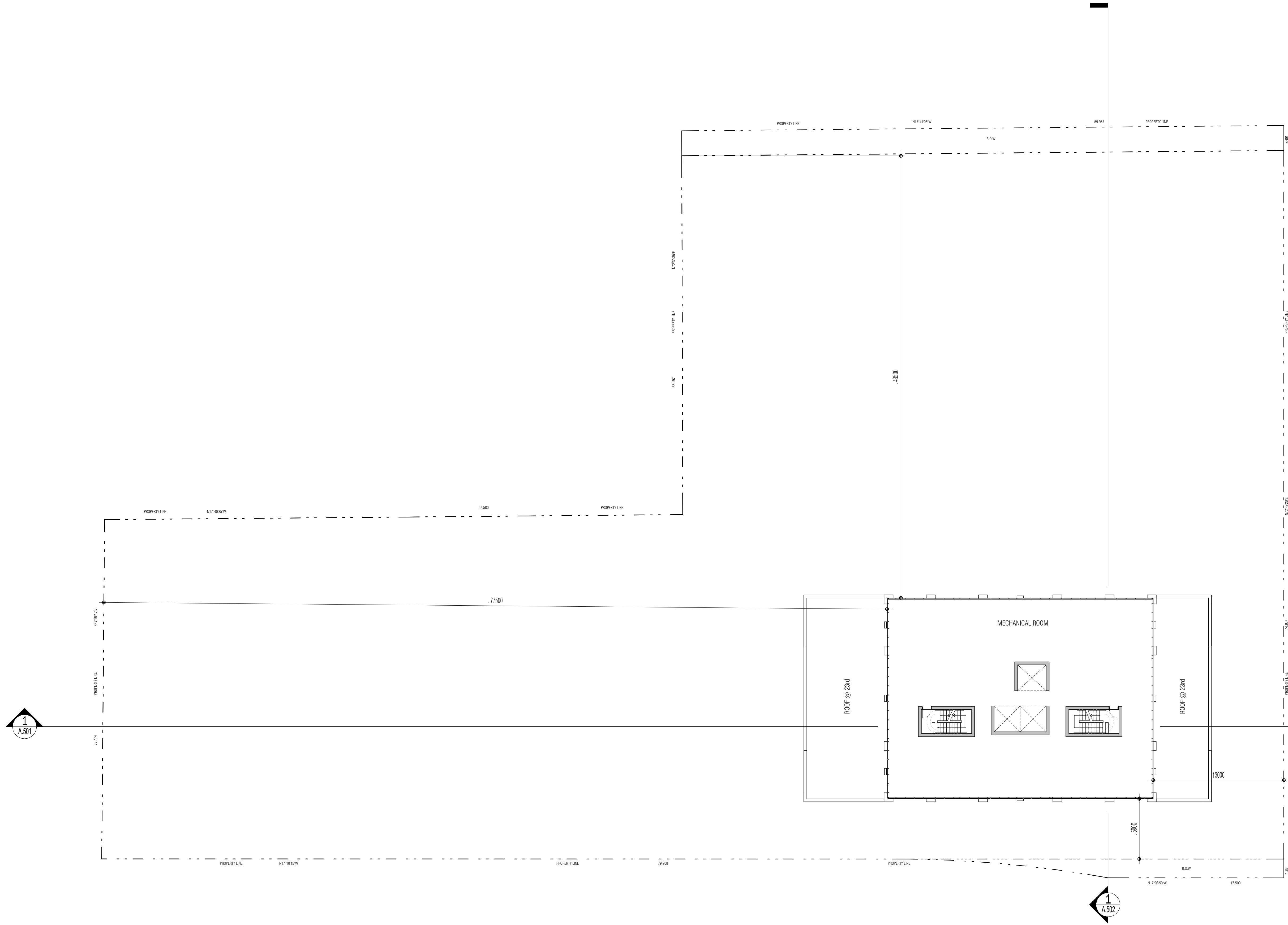
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GRAZIANI CORAZZA ARCHITECTS
BERNARDO E. GRAZIANI ARCHITECT
LICENCE 45514

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8
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63 Albany Street

Albany Street Investments Ltd

Ontario Ontario

Project Architect: **B. Graziani**
Assistant Designer: J.L.
Drawn By: J.L.
Checked By: D.B. / G.C.
Plot Date: Nov.01.2024
Job #: 1893.21

MECHANICAL FLOOR PLAN

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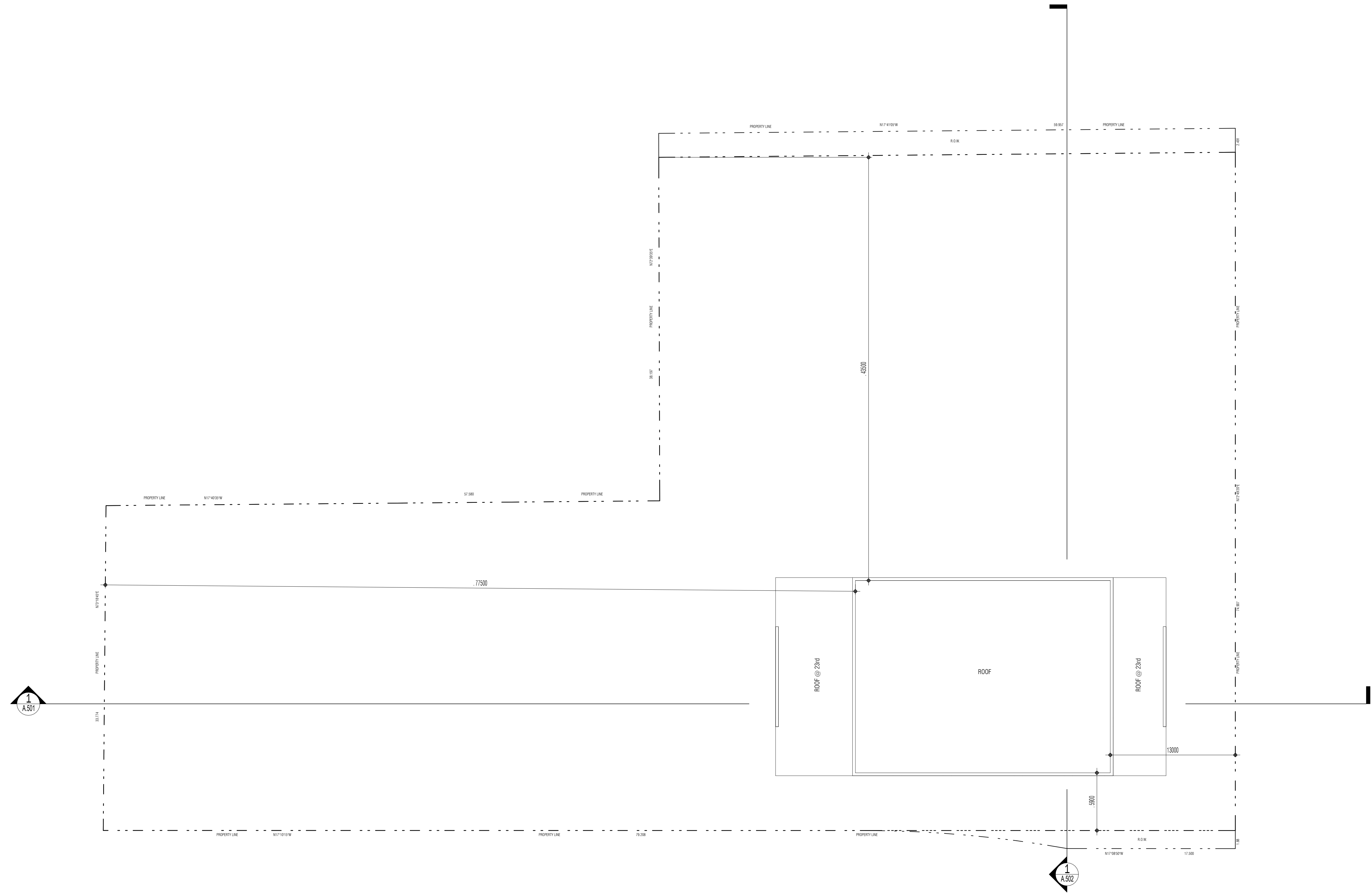
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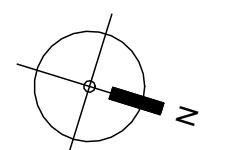
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Ontario Ontario

Project Architect: B.Graziani
Assistant Designer: J.L.
Drawn By: J.L.
Checked By: D.B. / G.C.
Plot Date: Nov.01.2024
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ROOF PLAN



1 : 200 A.309

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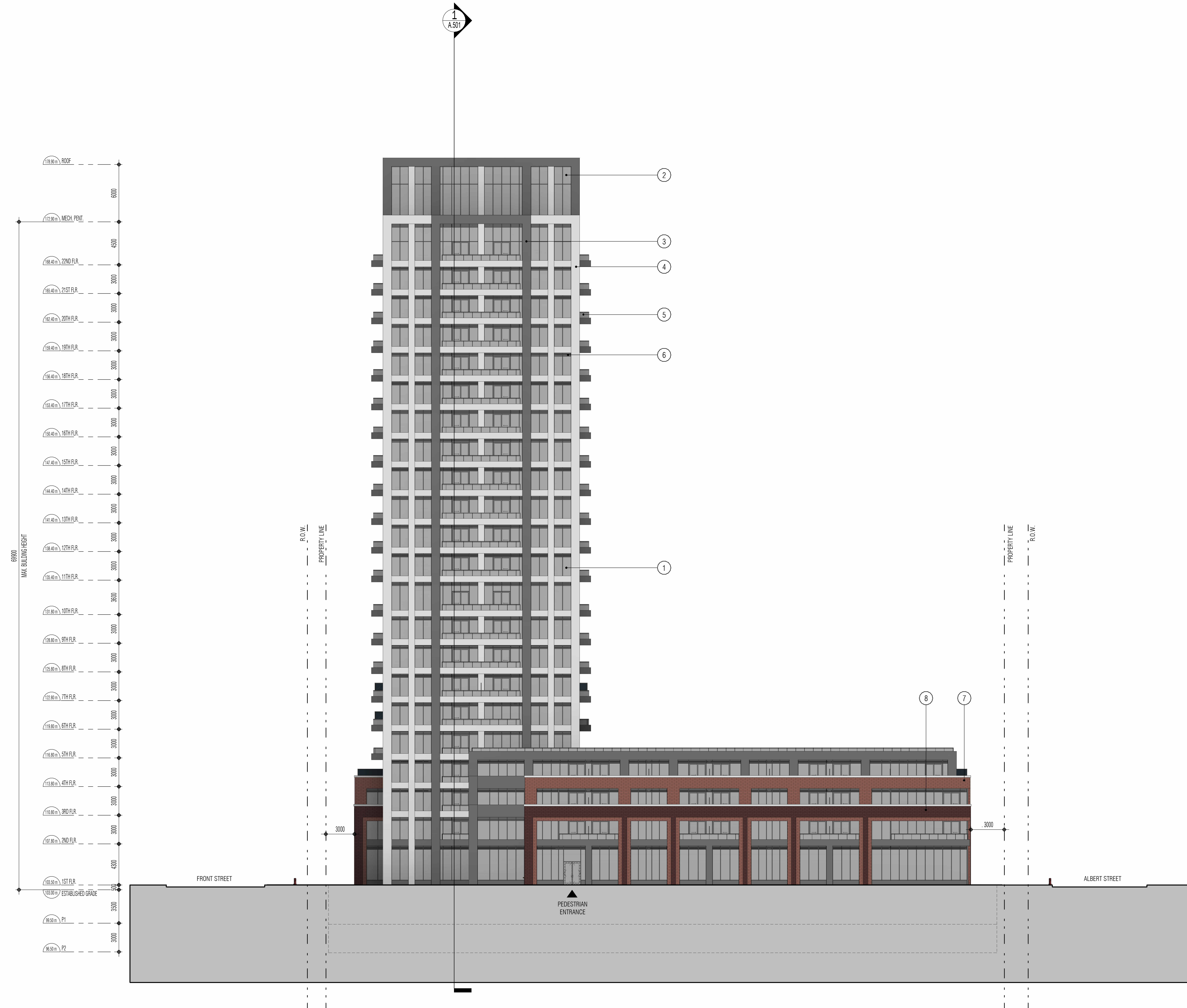
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MATERIALS LEGEND	
	① VISION GLASS
	② GLAZED SPANDREL PANEL
	③ ALUMINUM PANELS - TYPE 1
	④ ALUMINUM PANELS - TYPE 2
	⑤ GLASS RAILING
	⑥ LOUVERS - CHARCOAL
	⑦ BRICK - TYPE 1
	⑧ BRICK - TYPE 2

NOTE: IF EXACT SPECIFIED COLOUR IS NOT AVAILABLE, ATTEMPT COLOUR MATCH AND SUBMIT ALTERNATIVE SAMPLES FOR ARCHITECT'S APPROVAL.

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**GRAZIANI
CORAZZA
ARCHITECTS**

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ONTARIO ASSOCIATION
OF
ARCHITECTS

BERARDO E. MONTANI
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45574

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63 Albany Street

Albany Street Investments Ltd

Ontario

Project Architect: B. Graziani
 Assistant Designer: J.L.
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Issues:

1.	APR.01.2022	ISSUED FOR REZONING	BG
2.	NOV.01.2024	ISSUED FOR REZONING	BG

MATERIALS LEGEND

- ① VISION GLASS
- ② GLAZED SPANDREL PANEL
- ③ ALUMINUM PANELS - TYPE 1
- ④ ALUMINUM PANELS - TYPE 2
- ⑤ GLASS RAILING
- ⑥ LOUVERS - CHARCOAL
- ⑦ BRICK - TYPE 1
- ⑧ BRICK - TYPE 2

NOTE: IF EXACT SPECIFIED COLOUR IS NOT AVAILABLE, ATTEMPT COLOUR MATCH AND SUBMIT ALTERNATIVE SAMPLES FOR ARCHITECT'S APPROVAL.

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GRAZIANI CORAZZA ARCHITECTS
 BERARDO E. GRAZIANI ARCHITECT
 LICENCE 45574

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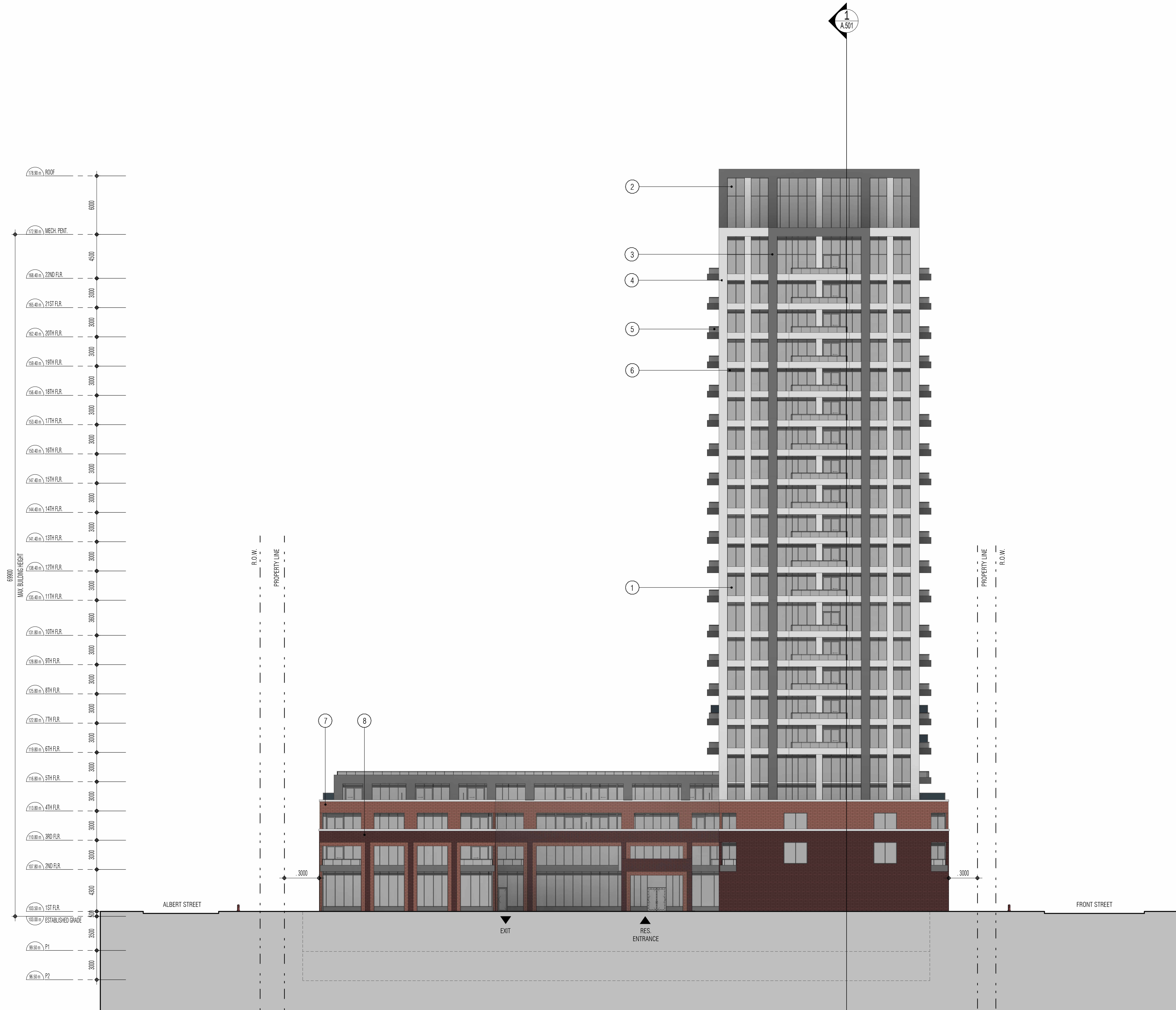
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63 Albany Street

Albany Street Investments Ltd

Project Architect:	B. Graziani
Assistant Designer:	J.L.
Drawn By:	J.L.
Checked By:	D.B. / G.C.
Plot Date:	Nov.01.2024
Job #	1893.21

SOUTH ELEVATION



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Albany Street Investments Ltd

Ontario

Project Architect: B. Graziani
 Assistant Designer: J.L.
 Drawn By: J.L.
 Checked By: D.B. / G.C.
 Plot Date: Nov.01.2024
 Job #: 1893.21

WEST ELEVATION

1:200 A.403



1
A.302

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Ontario

Project Architect: B. Graziani
Assistant Designer: J.L.
Drawn By: J.L.
Checked By: D.B. / G.C.
Plot Date: Nov.01.2024
Job #: 1893.21

EAST ELEVATION



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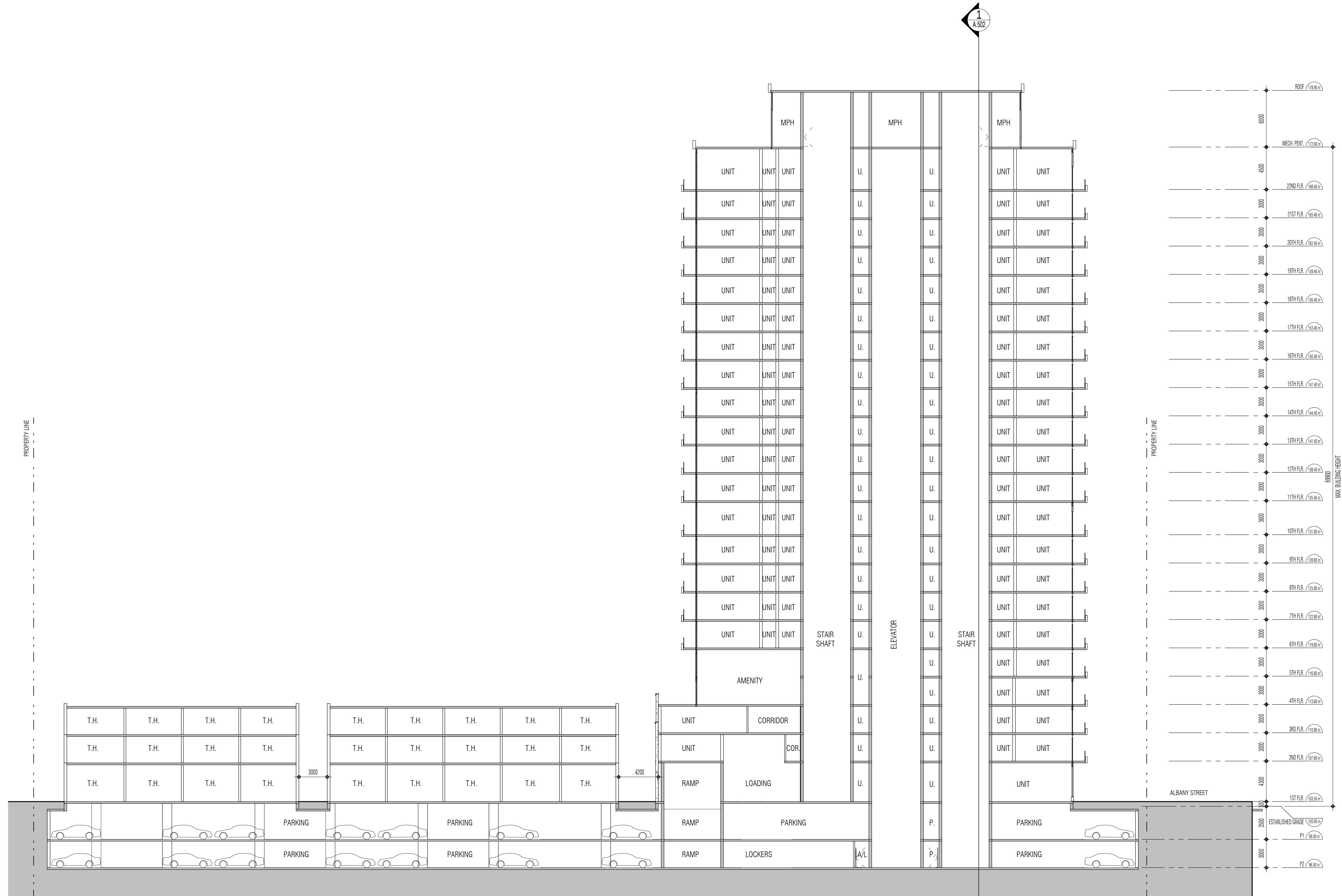
63 Albany Street

Albany Street Investments Ltd

Ontario Ontario

Project Architect: B.Grazianni
 Assistant Designer: J.L.
 Drawn By: J.L.
 Checked By: D.B. / G.C.
 Plot Date: Nov.01.2024
 Job #: 1893.21

BUILDING SECTION A



1
A.502

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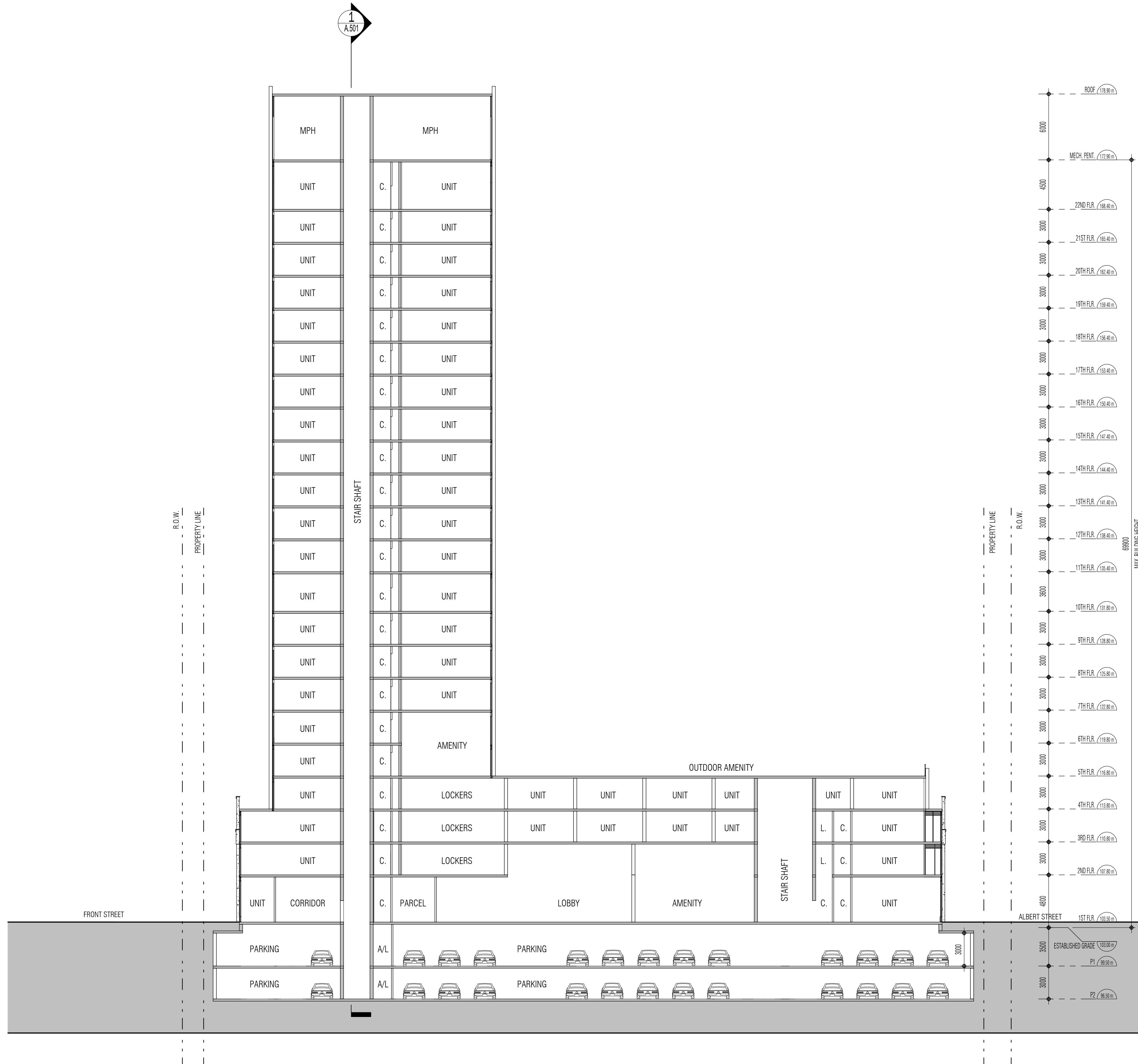
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BERARDO E. MONTANA
LICENCE
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63 Albany Street

Albany Street Investments Ltd

Ontario

Project Architect: **B. Graziani**

Assistant Designer: **J.L.**

Drawn By: **J.L.**

Checked By: **D.B. / G.C.**

Plot Date: **Nov.01.2024**

Job #: **1893.21**

BUILDING SECTION B

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Ontario Ontario

Project Architect: B.Grazianni
 Assistant Designer: J.L.
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 Plot Date: Nov.01. 2024
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PERSPECTIVE VIEWS



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