

**Amendment  
No. \_\_\_\_ to the  
West Harbour (Setting Sail) Secondary Plan  
of the former City of Hamilton Official Plan**

The following text, together with Appendix 'A' – Volume 2 – Schedule M-2 – General Land Use of the West Harbour Secondary Plan, constitutes Official Plan Amendment No. \_\_\_\_ to the West Harbour (Setting Sail) Secondary Plan.

**1.0 Purpose and Effect:**

The purpose of the Official Plan Amendment (OPA) is to establish a Site-Specific Policy Area for the lands at 175 John Street North, to permit a 12-storey, 128-unit multiple dwelling.

**2.0 Location:**

The portion of the lands affected by this Amendment are Part of the Block between Hughson Street North, John Street North, Robert Street and Cannon Street East, in the City of Hamilton, municipally known as 175 John Street North.

**3.0 Basis:**

The basis for permitting this Amendment is as follows:

- The proposed development supports the strengthening of existing neighbourhoods planning principles of the West Harbour (Setting Sail) Secondary Plan through the introduction of new multi-unit dwellings consisting of a mix of apartment types to satisfy a range of household sizes and income needs;
- The proposed development is compatible with the planned and existing development in the immediate area;
- The proposed Amendment is consistent with and conforms to the Provincial Planning Statement.

**4.0 Actual Changes:**

4.1 Map

- 4.1.1 That Schedule M-2: General Land Use Map of the West Harbour Secondary Plan is amended by identifying the subject lands located at 175 John Street as Site Specific Policy Area '\_\_\_\_', as shown on Appendix "A", attached.

4.2 Text

- 4.2.1 That a new Policy be added to the West Harbour (Setting Sail) Secondary Plan as Policy No. A.6.3.3.1.13.\_\_\_\_:

"A.6.3.3.1.13.\_\_\_\_ The following shall apply to the lands municipally known as 175 John Street North, designated Medium Density Residential 1 and identified as Site Specific Policy Area '\_\_\_\_' on Schedule M-2: General Land Use of the West Harbour Secondary Plan:

- i. Policy A.6.3.3.1.13 ii) shall not apply;
- ii. Notwithstanding Policy A.6.3.3.1.13 iii), a maximum building height of 12-storeys shall be permitted; and,

- iii. Notwithstanding Policy A.6.3.3.1.13 ix), the main entrances to buildings shall be clearly visible and easily accessible to the public street.

**Implementation:**

An implementing Zoning By-law will give effect to this Amendment.

This is Schedule "1" to By-Law No. 25-\_\_\_\_, passed on the \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_

\_\_\_\_\_


Mayor

Clerk

UHOPA-23-012

DRAFT

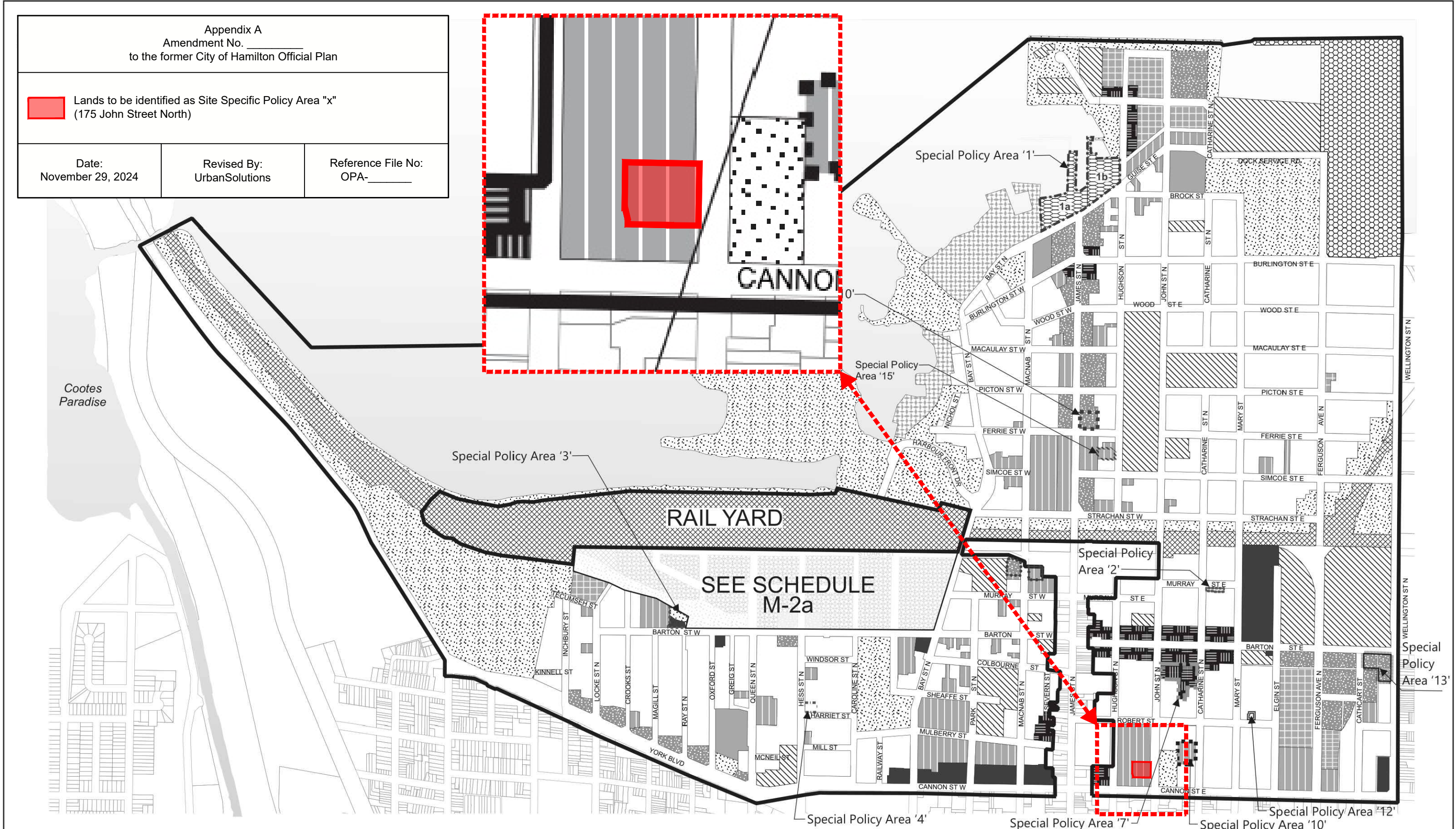


 Lands to be identified as Site Specific Policy Area "x"  
(175 John Street North)


Date:  
November 29, 2024

Revised By:  
UrbanSolutions


Reference File No:  
OPA-\_\_\_\_\_



<p><b>Legend</b></p>			<p>Special Policy Area '1'</p>			<p>Special Policy Area '7'</p>			<p>Special Policy Area '12'</p>		



**Hamilton West Harbour  
Planning Area Study**



Hamilton

**Schedule M-2: General Land Use**  
West Harbour Secondary Plan

Waterfront  
November 2022