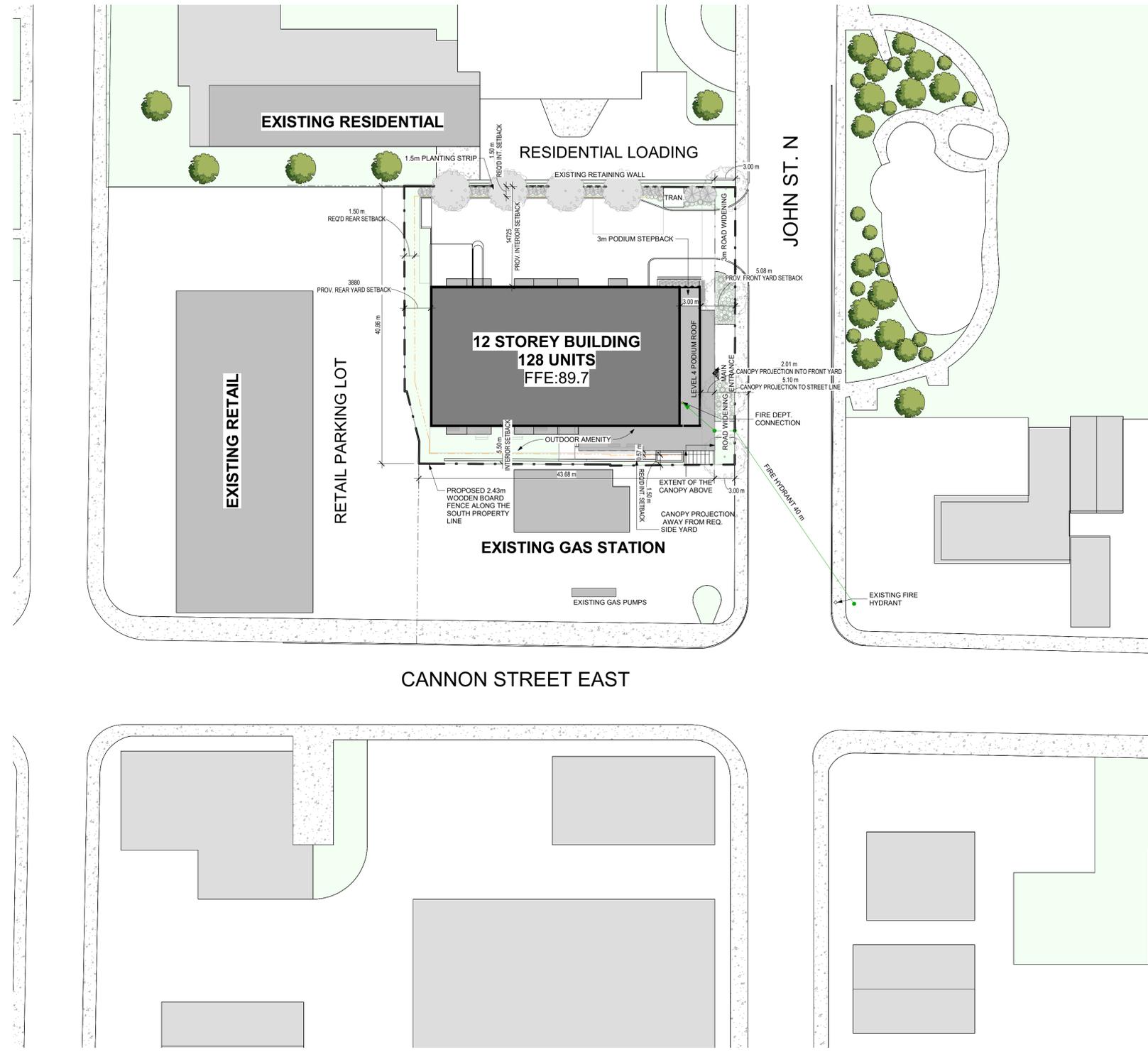
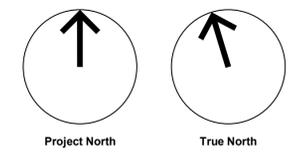


Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner. The material contained herein reflects the Consultant's best judgment in light of the information available to him at the time of preparation. Any use which a third party makes of the Contract Documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents. C:\Users\zalkasak\Documents\22018 - 175 John St N, Hamilton - V17_zalkasak.rvt



1 SITE PLAN
1 : 350



- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The material contained herein reflects the consultants best judgment in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

| SITE DATA | | |
|-----------------------------------|--|---|
| 175 JOHN ST N., HAMILTON, ONTARIO | | |
| DATA | REQUIRED | PROVIDED |
| ZONING | | ZONING - M1 |
| LOT AREA (m ²) | | BEFORE ROAD WIDENING 1,981m ² (21,323 ft ²) WITH ROAD WIDENING 1,850m ² (20,010 ft ²) |
| SETTBACKS | | |
| FRONT YARD (m) | 0 (m) | 2.08 (m) |
| INTERIOR SIDE YARD (m) | 1.5 (m) | 5.50 (m) |
| INTERIOR SIDE YARD (m) | 1.5 (m) | 14.73 (m) |
| REAR YARD (m) | 1.5 (m) | 3.88 (m) |
| BUILDING DATA | | |
| DATA | REQUIRED | PROVIDED |
| LOT COVERAGE (m ²) | % | 44.8% (LEVEL 3) |
| TOTAL DENSITY (# of units) | -- | 128 UNITS |
| BUILDING AREA (GROUND FLR.) | -- | 571.64 m ² (6,153.1 ft ²) |
| GROSS FLOOR AREA | -- | 9,067.3 m ² (97,599.3 ft ²) |
| GROSS CONSTRUCTION AREA | -- | 12,150.7 m ² (130,788.7 ft ²) |
| NUMBER OF STOREYS | -- | 12 |
| BUILDING HEIGHT (m) | -- (m) MAX. | 40.2 (m) |
| AMENITY AREA (m ²) | 4m ² / unit < 50m ² 4 x 48 = 192m ² 6m ² / unit > 50m ² 6 x 80 = 480m ² | INDOOR AMENITY 177.1 m ² (1906.3 ft ²) OUTDOOR AMENITY 192.2 m ² (2068.8 ft ²) BALCONIES 938.3 m ² (10099.8 ft ²) TOTAL 1,307.6 m ² (14075 ft ²) |

| No. | Date | Revision |
|-----|------------|-------------------|
| 2 | 2024-11-29 | Re-issued for ZBA |
| 1 | 2024-02-20 | Re-issued for ZBA |

| LANDSCAPING DATA | | |
|----------------------------------|----------------------|--|
| DATA | REQUIRED | PROVIDED |
| LANDSCAPE AREA (percentage) | -- (%) | 21 (%) |
| LANDSCAPE AREA (m ²) | -- (m ²) | 411 m ² (4424 ft ²) |

| VEHICLE PARKING DATA | | |
|----------------------|-----------------------|--------------------|
| DATA | REQUIRED | PROVIDED |
| RESIDENTIAL PARKING | 0 | 42 |
| VISITOR PARKING | 2 + 0.05 / UNIT = 8.4 | 9 (INCLUDED ABOVE) |
| BARRIER FREE PARKING | 1 | 2 (INCLUDED ABOVE) |

| BICYCLE PARKING DATA | | |
|----------------------------|----------------------|----------|
| DATA | REQUIRED | PROVIDED |
| SHORT TERM BICYCLE PARKING | 5 Stalls | 13 |
| LONG TERM BIKE PARKING | 0.5 / 128 units = 64 | 102 |

| UNIT MIX DATA | | | | | |
|----------------|------------|------------|-------------|------------|------------|
| UNIT TYPE | UNIT COUNT | PERCENTAGE | | | |
| STUDIO | 19 | 15% | | | |
| 1 BED | 39 | 30% | | | |
| 1 BED + DEN | 44 | 35% | | | |
| 2 BED | 20 | 15% | | | |
| 3 BED | 6 | 5% | | | |
| TOTAL | 128 | | | | |
| UNIT BREAKDOWN | STUDIO | 1 BED | 1 BED + DEN | 2 BED | 3 BED |
| LEVEL 2 | 1 PER FLR. | 1 PER FLR. | 4 PER FLR. | 2 PER FLR. | 2 PER FLR. |
| LEVEL 3-4 | 1 PER FLR. | 3 PER FLR. | 4 PER FLR. | 1 PER FLR. | 2 PER FLR. |
| LEVEL 5-12 | 2 PER FLR. | 4 PER FLR. | 4 PER FLR. | 2 PER FLR. | - |
| TOTAL | 19 | 39 | 44 | 20 | 6 |

Client:
Project Name / Address:
**175 JOHN ST N,
HAMILTON**

Project No: 22018

Drawing Date: **AUGUST 16, 2024**

Drawn by: ZMK Checked by: EJT

Office Location: TORONTO

Plot Date / Time: 2024-11-29 1:43:54 PM

Drawing Name:

SITE PLAN

Ontario Association of Architects logo

Drawing Scale: As indicated

Status: REISSUED FOR ZBA

Revision No.: r2

Drawing No.: D1.1