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 \SRM-SRV-PDC\PROJECTS\2023 - Wilson Street, Ancaster (Urban Solutions)\DRAWINGS\Design Drawings\Revit\2023 - Wilson Street Ancaster Building_2023-05-30_8 Storey.rvt



GENERAL NOTES

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No.	Date	Revision
4	2023/05/30	ISSUED FOR CLIENT REVIEW
3	15/05/2023	ISSUED FOR CLIENT
2	10/05/2023	ISSUED FOR CLIENT
1	28/02/2023	ISSUED FOR CLIENT

Client:



Project Name / Address:

**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

Project No: 22023

Drawing Date: 02/17/23

Drawn by: Author Checked by: Checker

Office Location: KITCHENER

Plot Date / Time: 2023-05-30 10:21:44 AM

MASSING VIEW 1

Drawing Name:

Drawing Scale:

Status:

Revision No.: **r4**

Drawing No.: **D0.1**

PRELIMINARY

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1	28/02/2023	ISSUED FOR CLIENT
No.	Date	Revision

Client:

Augustus

CONDOMINIUMS IN ANCASTER

Project Name / Address:

**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

Project No: 22023

Drawing Date: 02/17/23

Drawn by: Author Checked by: Checker

Office Location: KITCHENER

Plot Date / Time: 2023-05-30 10:22:10 AM

SRM[↑]
architects+
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MASSING VIEW 2

Drawing Name:

Drawing Scale:

Status:

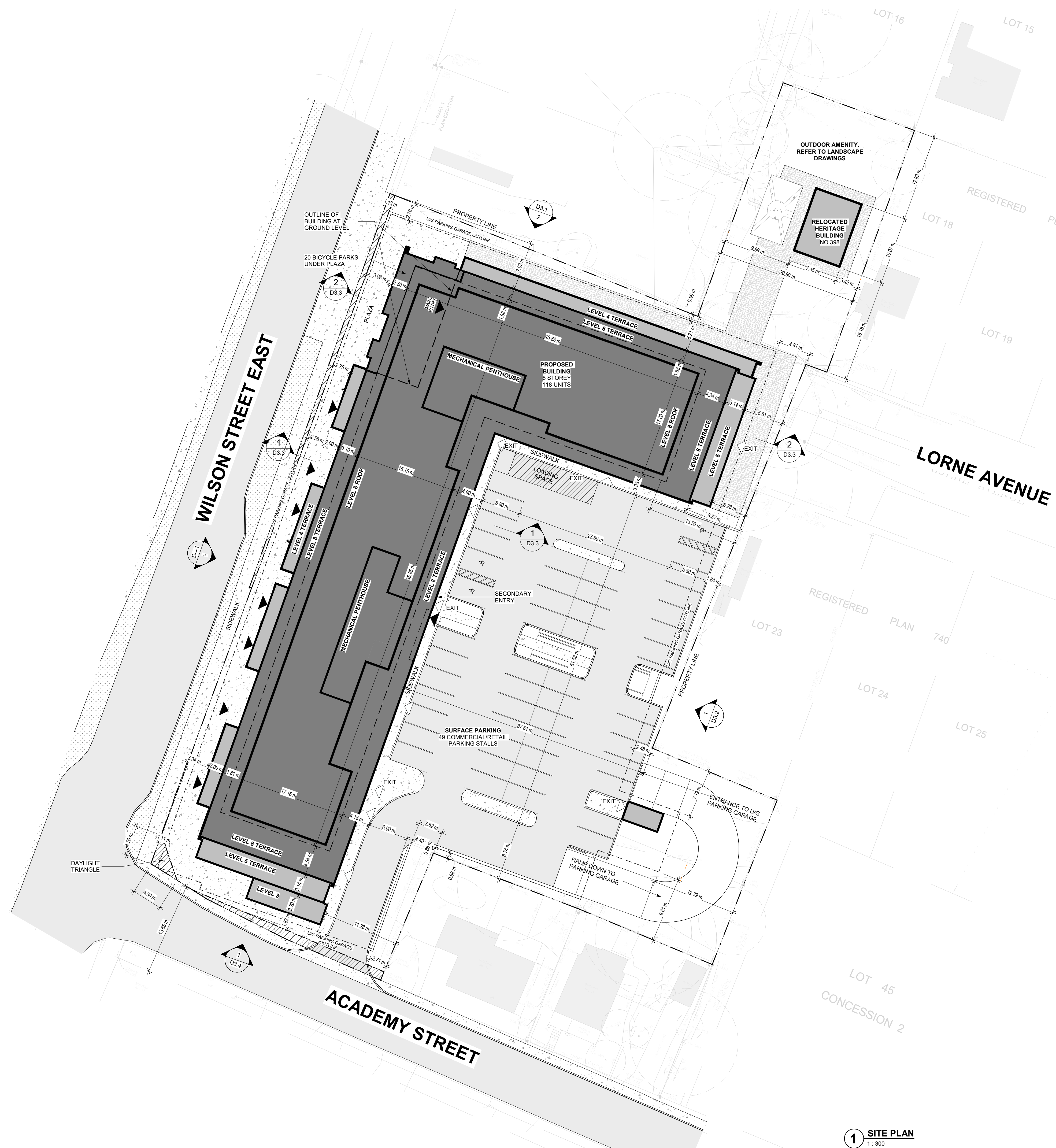
Revision No: **r4**

Drawing No: **D0.2**

PRELIMINARY

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SITE DATA	
392-412 WILSON STREET EAST & 15 LORNE AVENUE, ANCASTER	
DATA	PROVIDED
ZONING	TBC
LOT AREA (m ²)	83,870 ft ² (7,791.70 m ²)
FRONT YARD (m)	2.75 (m)
INTERIOR SIDE YARD (m)	3 (m)
EXTERIOR SIDE YARD (m)	1.8 (m)
REAR YARD (m)	5.2 (m)

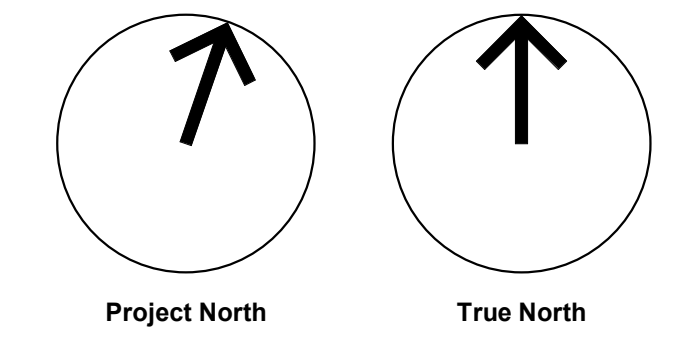
BUILDING DATA	
DATA	PROVIDED
TOTAL DENSITY (# of units)	118 (units)
BUILDING AREA (m ²)	31,044 ft ² (2,884 m ²)
GFA (m²) - BELOW GRADE	113,048 ft² (10,503 m²)
UNDERGROUND P1 LEVEL	66,953 ft ² (6,220 m ²)
UNDERGROUND P2 LEVEL	46,096 ft ² (4,283 m ²)
GFA (m²) - ABOVE GRADE	226,518 ft² (21,044 m²)
GROUND	28,885 ft ² (2,684 m ²)
LEVEL 2	29,330 ft ² (2,725 m ²)
LEVEL 3	31,044 ft ² (2,884 m ²)
LEVEL 4	28,991 ft ² (2,693 m ²)
LEVEL 5	28,303 ft ² (2,629 m ²)
LEVEL 6	28,303 ft ² (2,629 m ²)
LEVEL 7	27,749 ft ² (2,578 m ²)
LEVEL 8	17,680 ft ² (1,643 m ²)
RENTABLE RESIDENTIAL AREA (m ²)	170,864 ft ² (15,874 m ²)
COMMERCIAL/RETAIL AREA (m ²)	15,879 ft ² (1,475 m ²)
AMENITY AREA (m ²)	6,571 ft ² (611 m ²)
NUMBER OF STOREYS	8
BUILDING HEIGHT (m) (excl. mech.)	30.60 (m)

LANDSCAPING DATA	
DATA	PROVIDED
LANDSCAPE AREA (percentage)	31.08%
LANDSCAPE AREA (m ²)	25,985 ft ² (2,414 m ²)

VEHICLE PARKING DATA	
DATA	PROVIDED
RESIDENTIAL PARKING	221 (1.87 / UNIT)
UNDERGROUND P1 LEVEL	135
UNDERGROUND P2 LEVEL	86
BARRIER FREE PARKING	6 (INCL.)
COMMERCIAL PARKING AT GRADE	49
TOTAL	270

BICYCLE PARKING DATA	
DATA	PROVIDED
RESIDENTIAL BICYCLE PARKING UNDERGROUND	170 BICYCLE STALLS
COMMERCIAL BICYCLE PARKING AT GRADE	20 BICYCLE STALLS
TOTAL	190

UNIT DATA							
FLOOR	1 BED	1 BED + D	2 BED	2 BED + D	3 BED	UNITS / FLOOR	UNIT EFFICIENCY / FLOOR GFA
GROUND LEVEL							
LEVEL 2	2	2	5	5	5	19 SUITES	88.7%
LEVEL 3	2	2	6	4	6	20 SUITES	89.8%
LEVEL 4	3	2	4	3	7	19 SUITES	91.5%
LEVEL 5	3	2	4	3	7	19 SUITES	88.9%
LEVEL 6	3	2	4	3	7	19 SUITES	88.9%
LEVEL 7	2	1	3	2	9	17 SUITES	88.7%
LEVEL 8	0	0	0	0	5	5 SUITES	87.7%
SUBTOTAL	15	11	26	20	46		
PERCENTAGE	12.71%	9.32%	22.03%	16.95%	38.98%		
AVG. AREA (SQ. FT)	700	1000	1060	1350	2060		
TOTAL						118 SUITES	



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3	26/11/2021	ISSUED FOR CLIENT REVIEW
2	17/11/2021	ISSUED FOR CLIENT REVIEW
1	09/11/2021	ISSUED FOR COORDINATION



Project Name / Address:
392-412 WILSON STREET EAST & 15 LORNE AVENUE, ANCASTER

SRM
 architects+
 urban*designers

Project No: 22023
 Drawing Date: 17/11/2021
 Drawn by: TH
 Checked by: ET
 Office Location: KITCHENER
 Plot Date / Time: 2023-07-20 9:21:40 AM

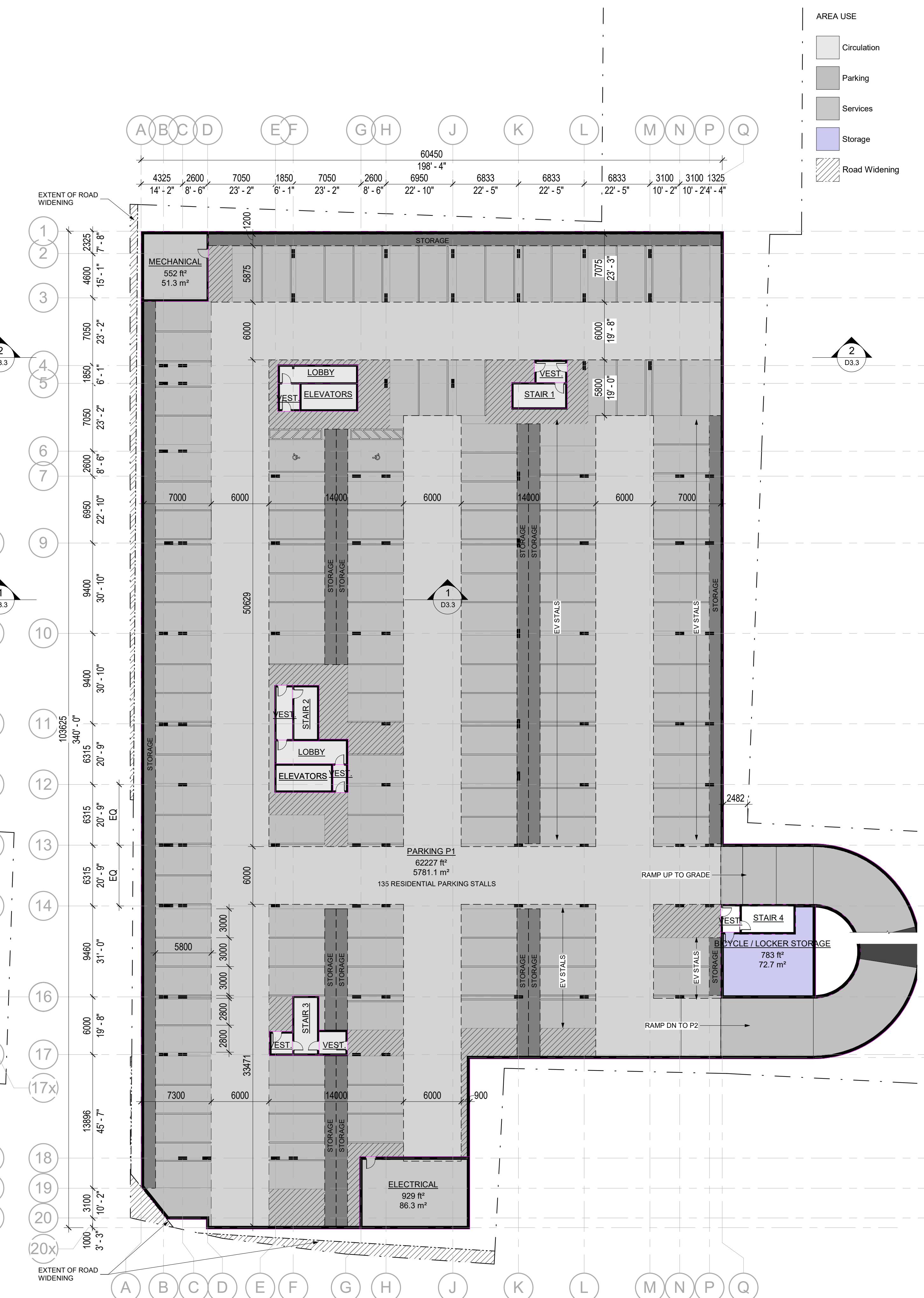
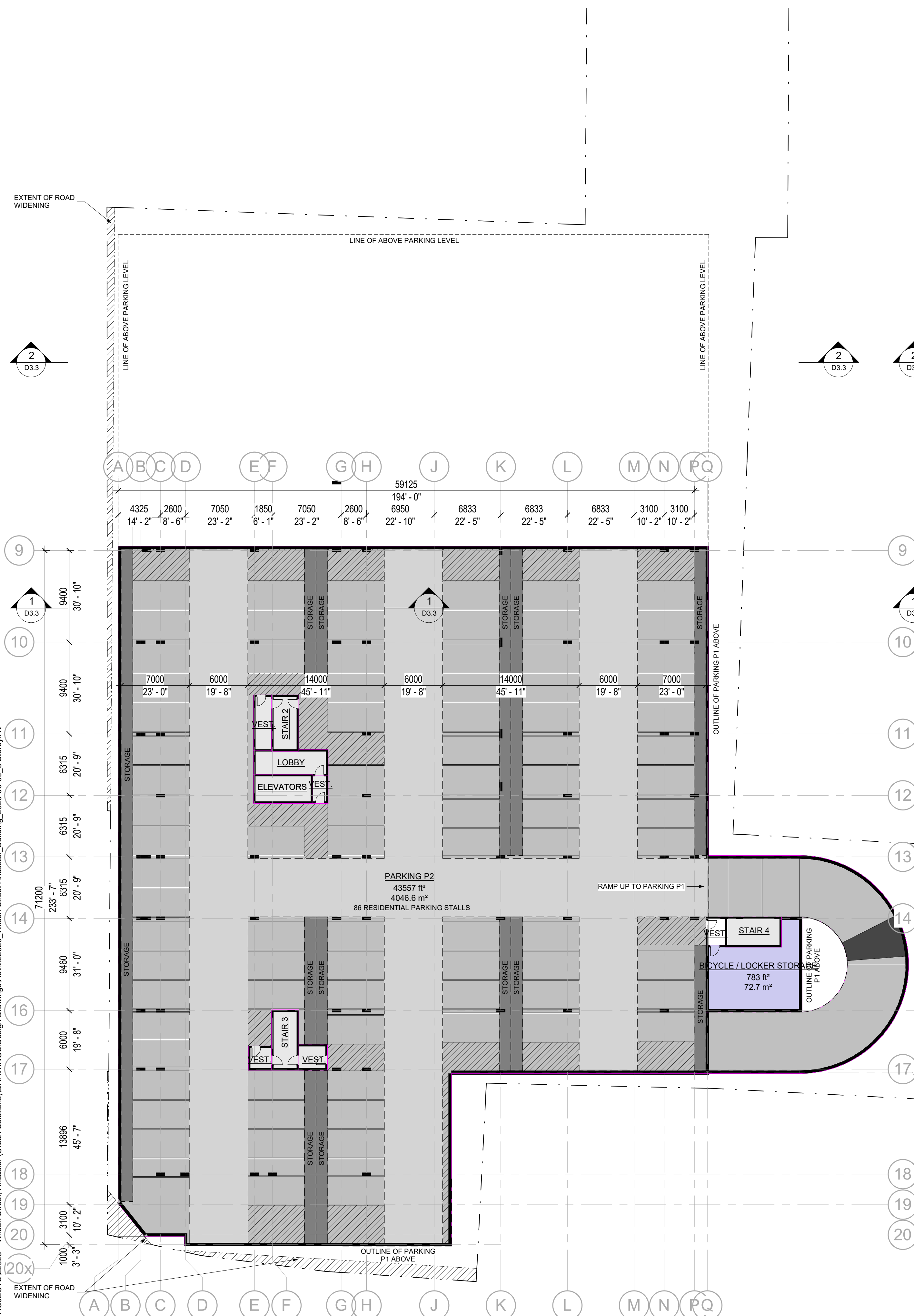
SITE PLAN

Drawing Name:
 Drawing Scale: As indicated
 Status:
 Revision No: r10
 Drawing No: D1.1

1 SITE PLAN
 1:300

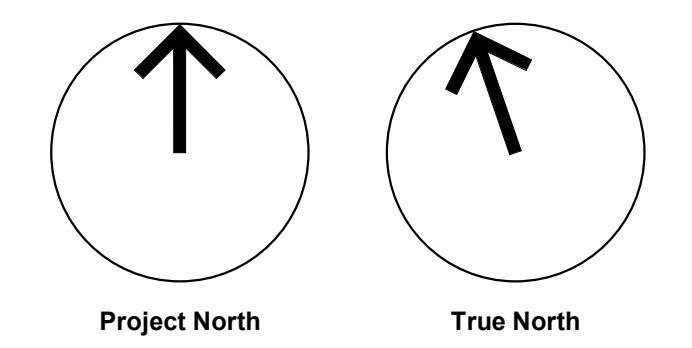
PRELIMINARY

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AREA USE

- Circulation
- Parking
- Services
- Storage
- Road Widening



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3	09/11/2021	ISSUED FOR COORDINATION
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1	04/11/2021	ISSUED FOR CLIENT REVIEW



Project Name / Address:
**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

SRM
architects+
urban+designers

Project No: 22023
Drawing Date: 26/11/2021
Drawn by: TH
Checked by: ET
Office Location: KITCHENER
Plot Date / Time: 2023-05-30 10:22:24 AM
Drawing Name:

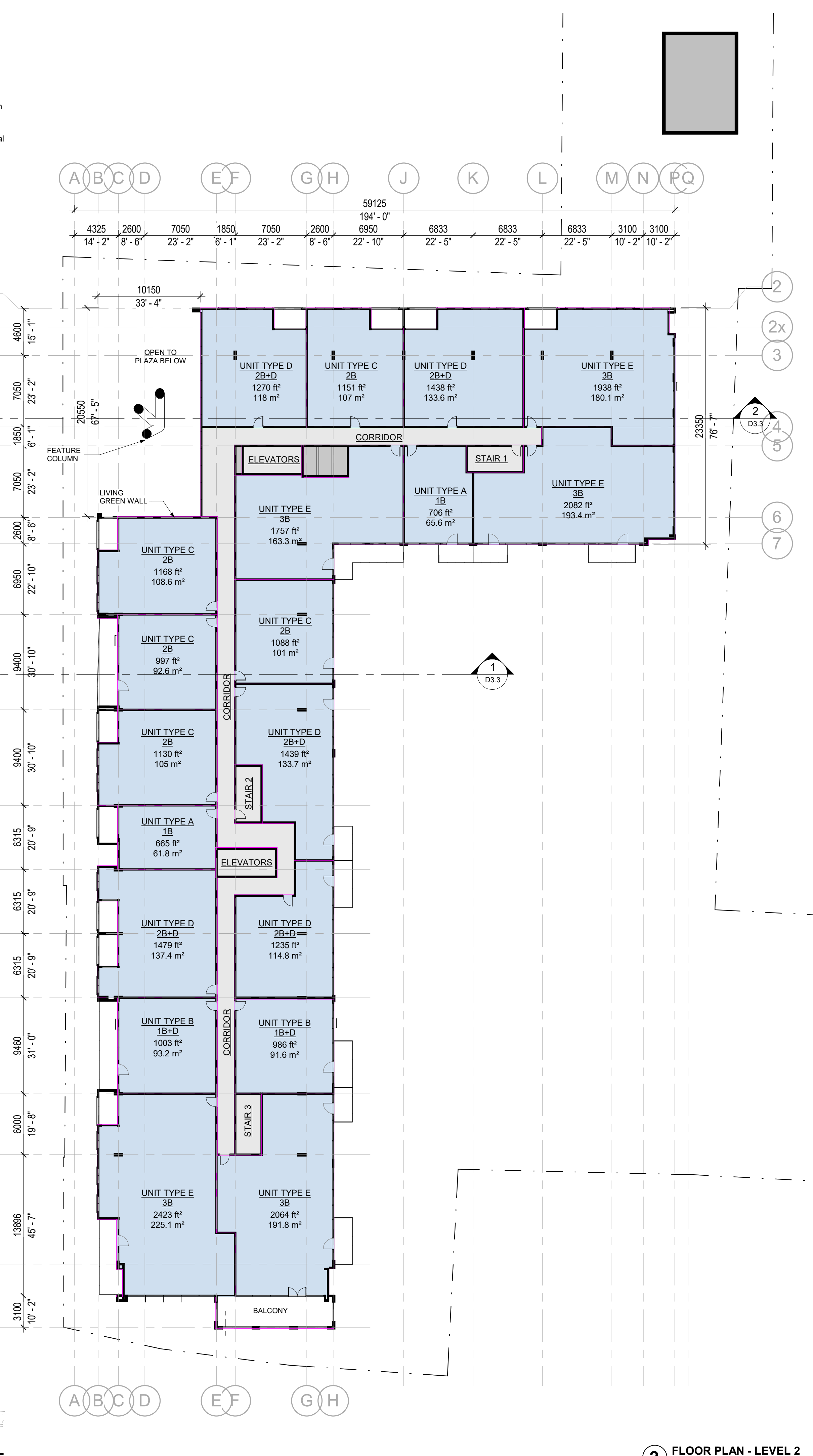
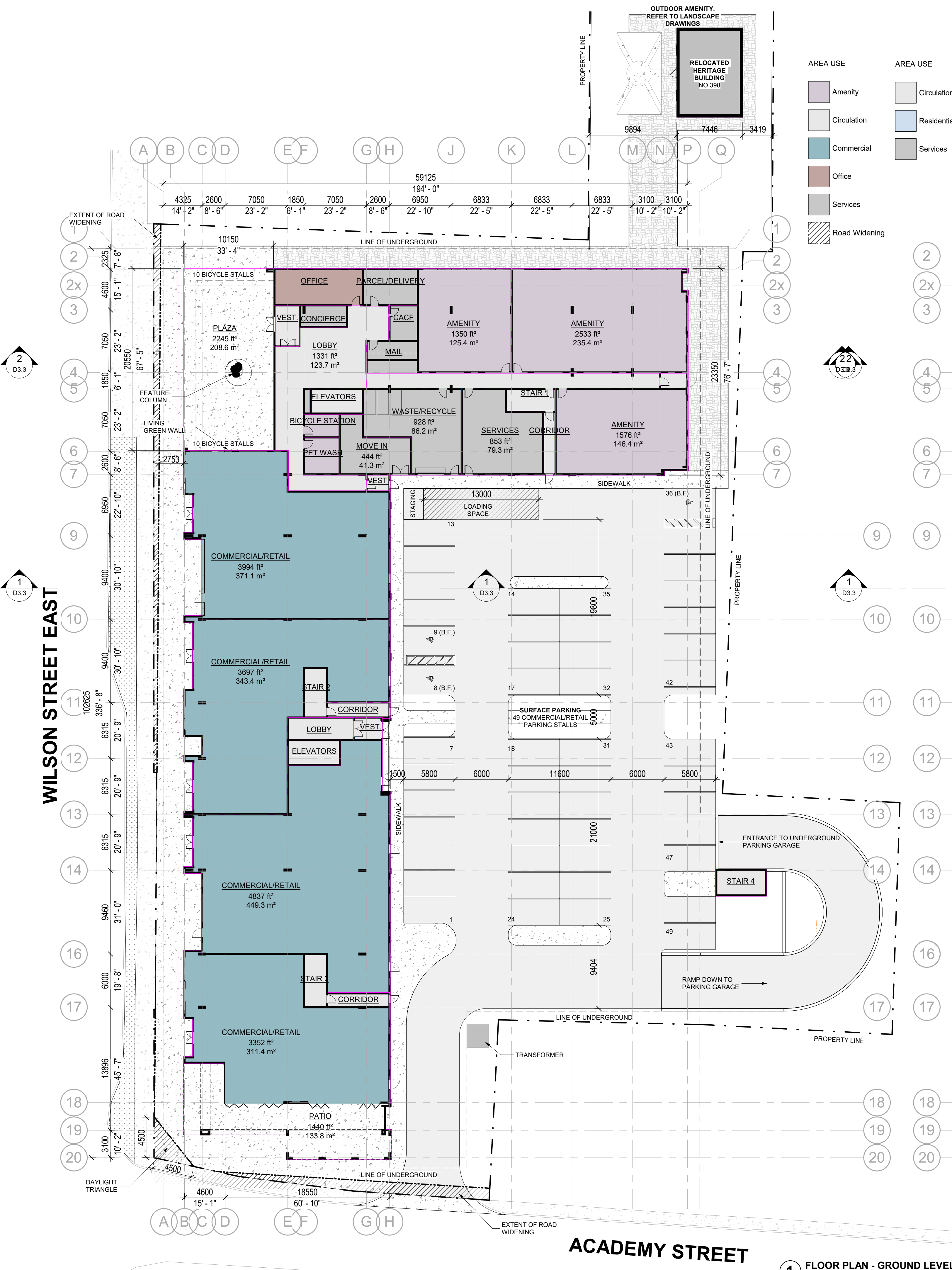
**FLOOR PLANS -
PARKING P1 & P2**

Drawing Scale: 1:250
Status:
Revision No: **r12**
Drawing No:

PRELIMINARY

D2.1

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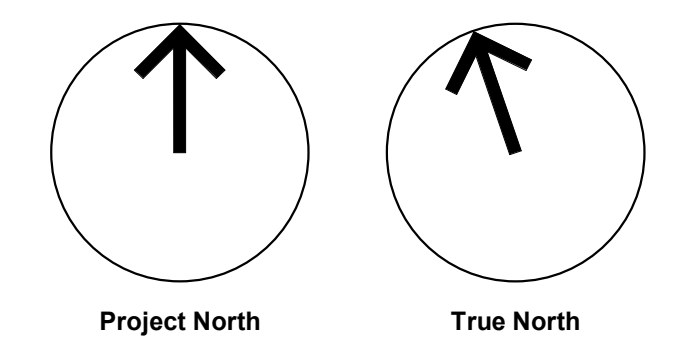


AREA USE

- Amenity
- Circulation
- Commercial
- Office
- Services
- Road Widening

AREA USE

- Circulation
- Residential
- Services



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1	04/11/2021	ISSUED FOR CLIENT REVIEW

Augustus
CONDOMINIUMS IN ANCASTER

Project Name / Address:
392-412 WILSON STREET EAST & 15 LORNE AVENUE, ANCASTER

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architects+urban+designers

Project No: 22023
Drawing Date: 26/11/2021
Drawn by: TH
Checked by: ET
Office Location: KITCHENER
Plot Date / Time: 2023-05-30 10:22:31 AM

FLOOR PLANS - GROUND LEVEL & LEVEL 2

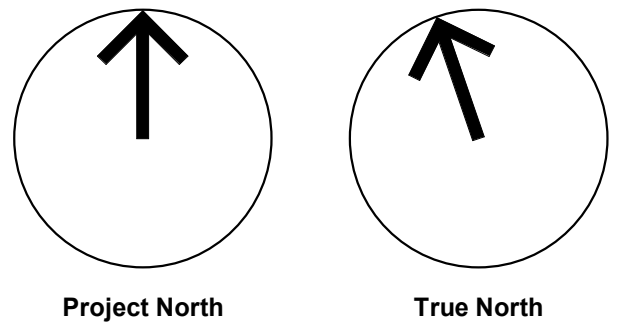
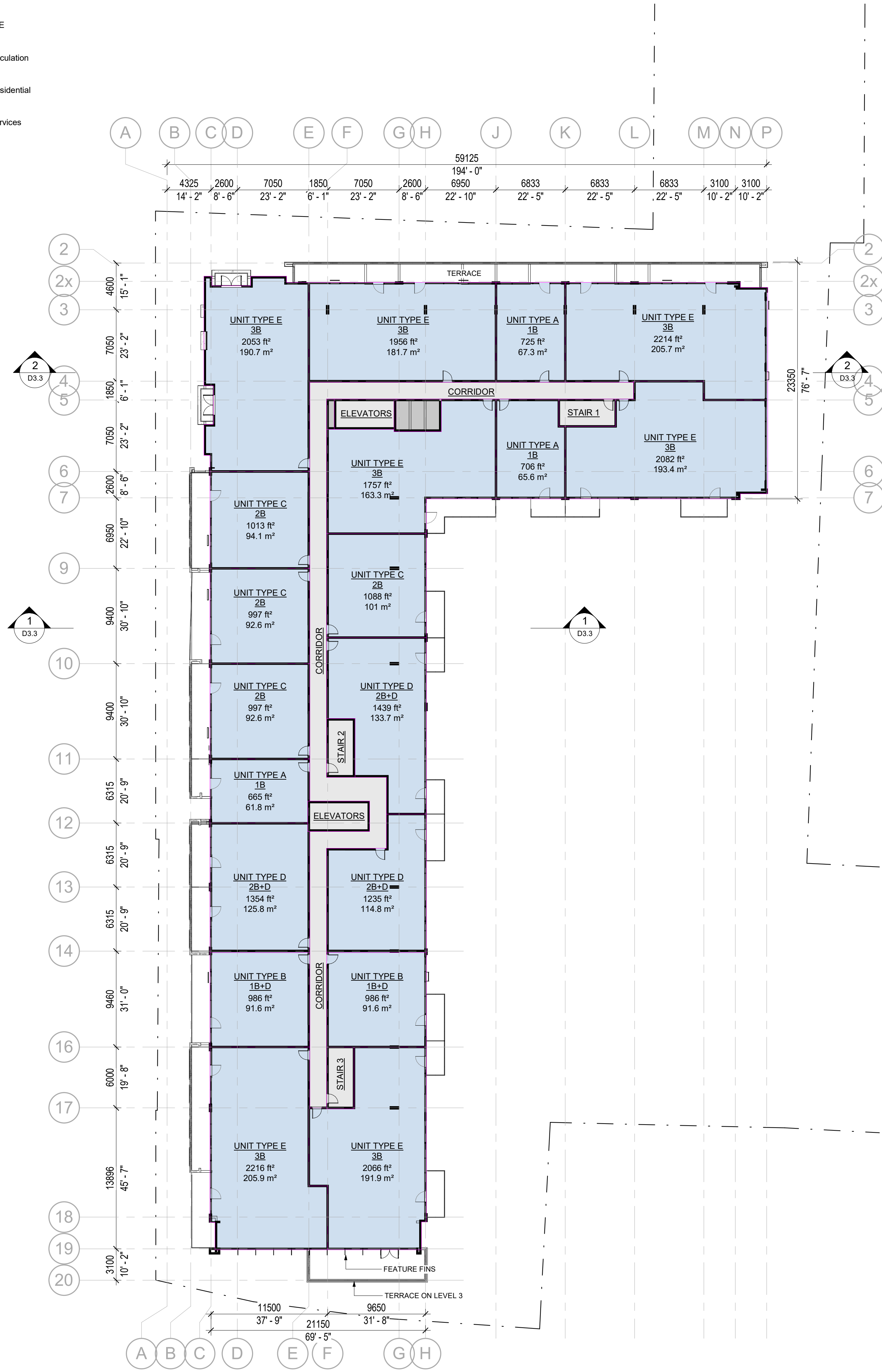
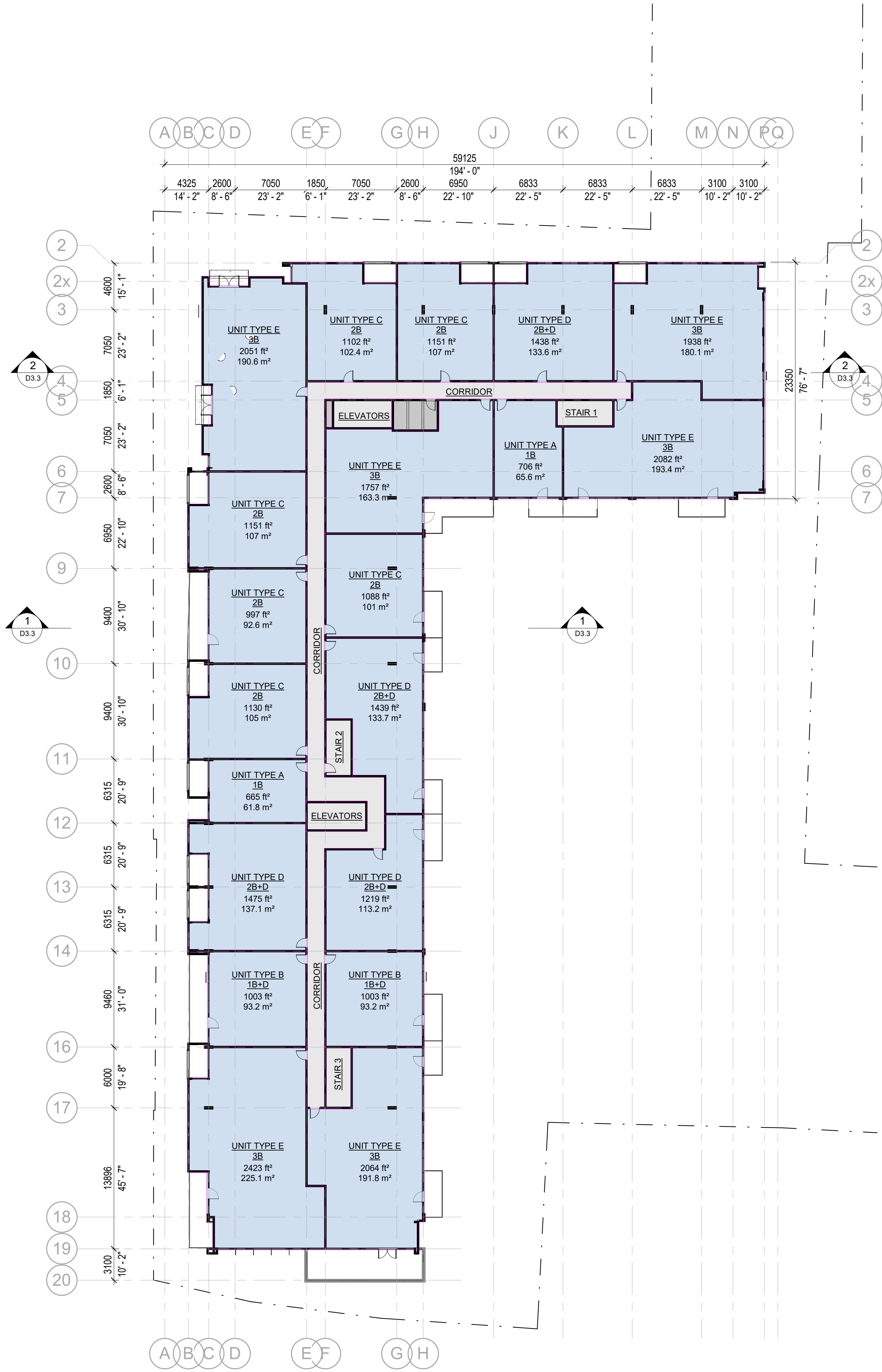
Drawing Scale: 1: 250
Status:
Revision No.: **r11**
Drawing No.:

PRELIMINARY

D2.2

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1	04/11/2021	ISSUED FOR CLIENT REVIEW



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AVENUE, ANCASTER**

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Drawn by: TH
Checked by: ET
Office Location: KITCHENER
Plot Date / Time: 2023-05-30 10:22:38 AM

**FLOOR PLANS - LEVELS
3 & 4**

Drawing Name:
PRELIMINARY

Drawing Scale: 1:250
Status:
Revision No: **r10**
Drawing No:

D2.3

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AREA USE

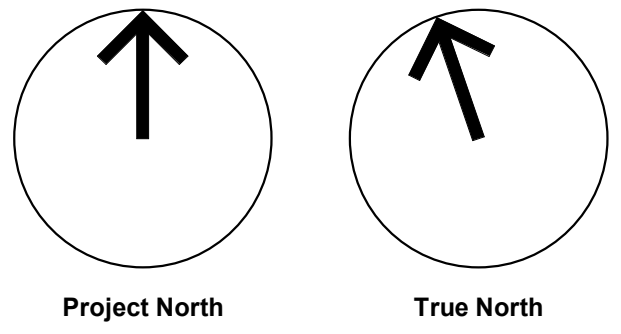
- Circulation
- Residential
- Services



1 FLOOR PLAN - LEVEL 5-6
1: 250



2 FLOOR PLAN - LEVEL 7
1: 250



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Augustus
CONDOMINIUMS IN ANCASTER

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**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

Client:
SRM
architects+
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Project No: 22023
Drawing Date: 26/11/2021
Drawn by: TH
Checked by: ET
Office Location: KITCHENER
Plot Date / Time: 2023-05-30 10:22:44 AM

Drawing Name:
**FLOOR PLANS - LEVELS
5-7**

Drawing Scale: 1: 250
Status:
Revision No: **r7**
Drawing No:

PRELIMINARY

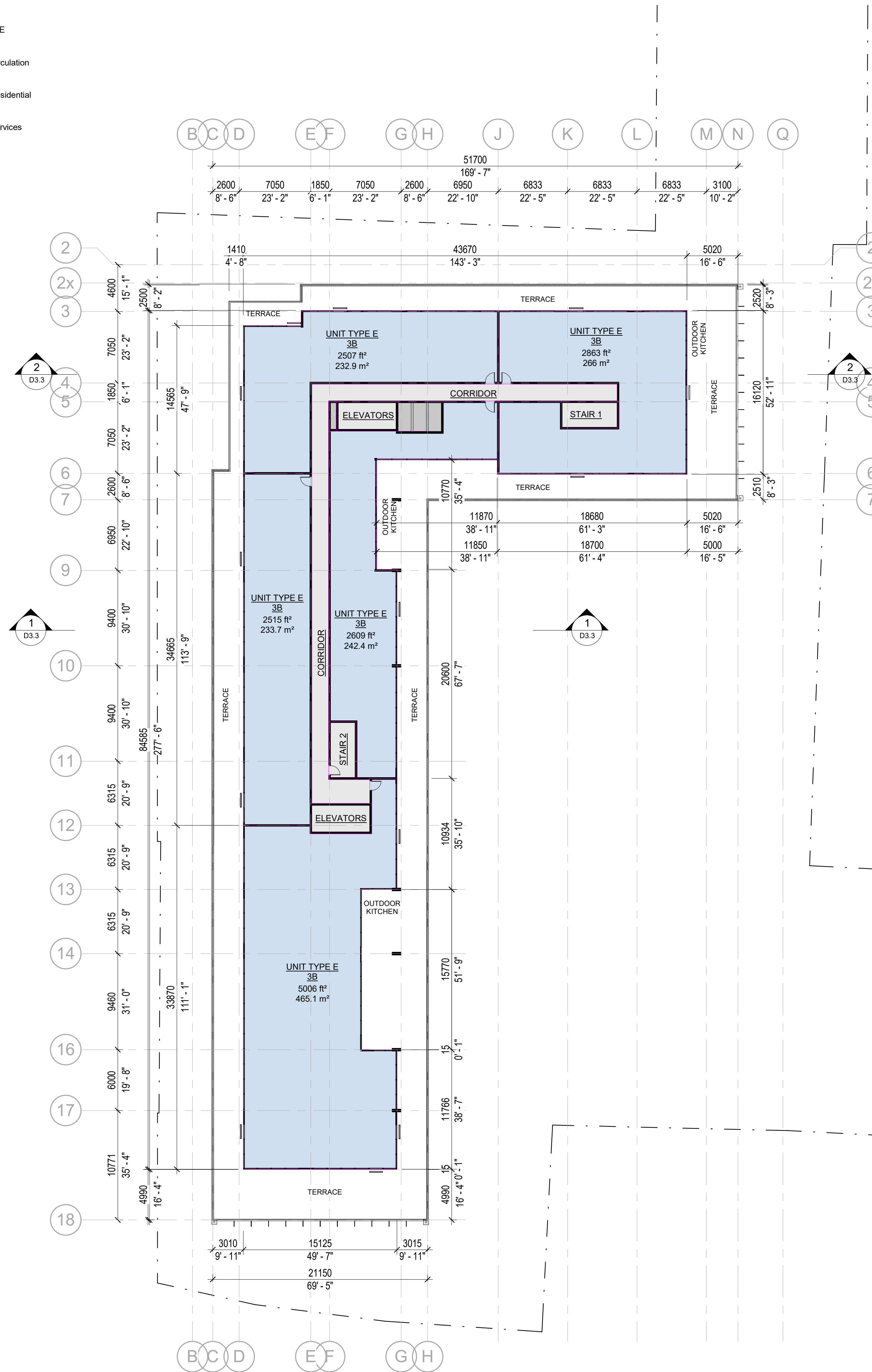
D2.4

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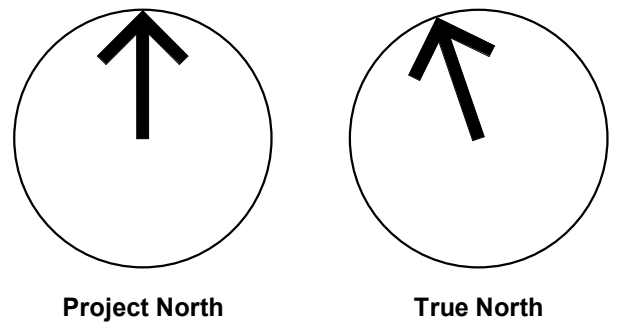
\\SRM-SRV-PDC\PROJECTS\2023 - Wilson Street, Ancaster (Urban Solutions)\DRAWINGS\Design Drawings\Revit\2023 - Wilson Street Ancaster Building_2023-05-30_8 Storey.rvt

AREA USE

	Circulation
	Residential
	Services



1 FLOOR PLAN - LEVEL 8
1 : 250



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4	10/05/2023	ISSUED FOR CLIENT
3	28/02/2023	ISSUED FOR CLIENT
2	15/12/2021	ISSUED FOR CLIENT
1	08/12/2021	ISSUED FOR CLIENT REVIEW



Client:
**392-412 WILSON STREET
 EAST & 15 LORNE
 AVENUE, ANCASTER**

SRM architects+ urban*designers	Project No:	22023
	Drawing Date:	12/08/21
	Drawn by:	TH
	Checked by:	ET
Office Location:	KITCHENER	
Plot Date / Time:	2023-05-30 10:22:48 AM	

**FLOOR PLANS - LEVELS
8**

Drawing Name:	Drawing Scale:	1 : 250
Status:	Revision No.:	r6
Drawing No.:	Drawing No.:	D2.5

PRELIMINARY



1 WEST ELEVATION (WILSON ST EAST)
1:200



2 NORTH ELEVATION
1:200

- GENERAL NOTES**
- 1 Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - 2 All work shall comply with the 2012 Ontario Building Code and amendments.
 - 3 Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - 4 All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - 5 All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - 6 The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
 - 7 The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
8	2023/05/30	ISSUED FOR CLIENT REVIEW
7	15/05/2023	ISSUED FOR CLIENT
6	10/05/2023	ISSUED FOR CLIENT
5	28/02/2023	ISSUED FOR CLIENT
4	15/12/2021	ISSUED FOR CLIENT
3	14/12/2021	ISSUED FOR CLIENT REVIEW
2	08/12/2021	ISSUED FOR CLIENT REVIEW
1	02/12/2021	ISSUED FOR CLIENT REVIEW

Client:
Augustus
CONDOMINIUMS IN ANCASTER

Project Name / Address:
**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

Project No: 22023
Drawing Date: 02/12/2021
Drawn by: TH
Checked by: ET
Office Location: KITCHENER
Plot Date / Time: 2023-05-30 10:23:23 AM

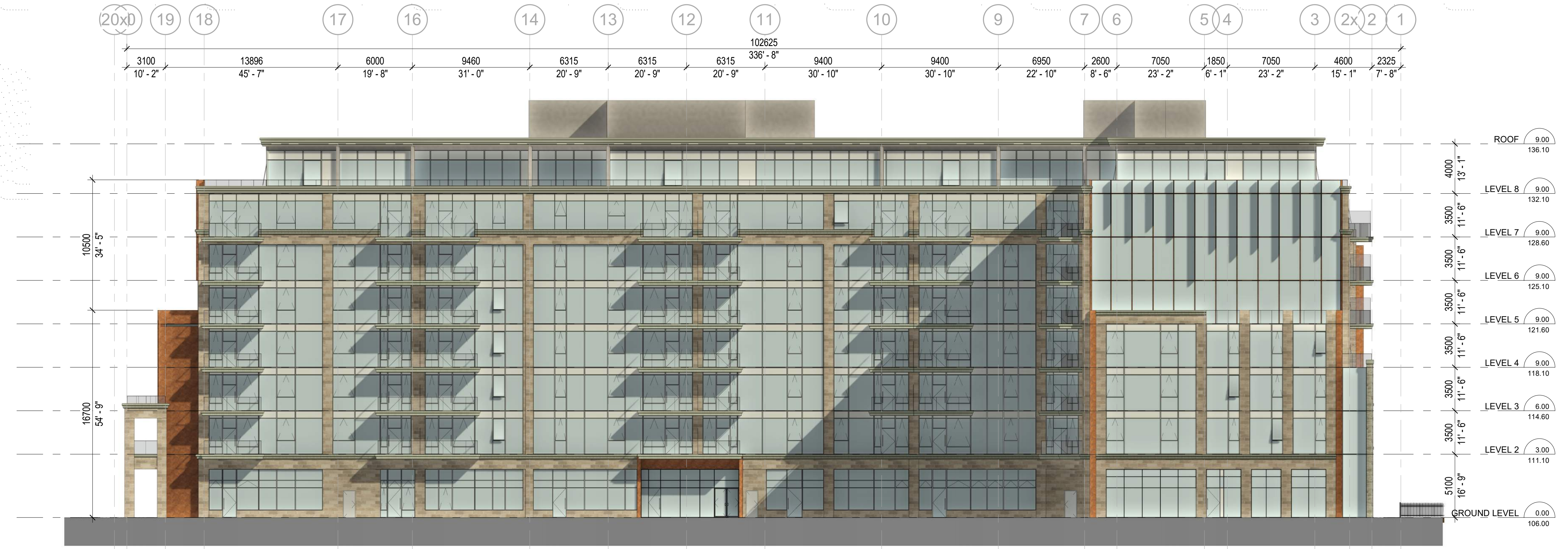
ELEVATIONS

Drawing Name:
Drawing Scale: 1:200
Status:
Revision No: r8
Drawing No: D3.1

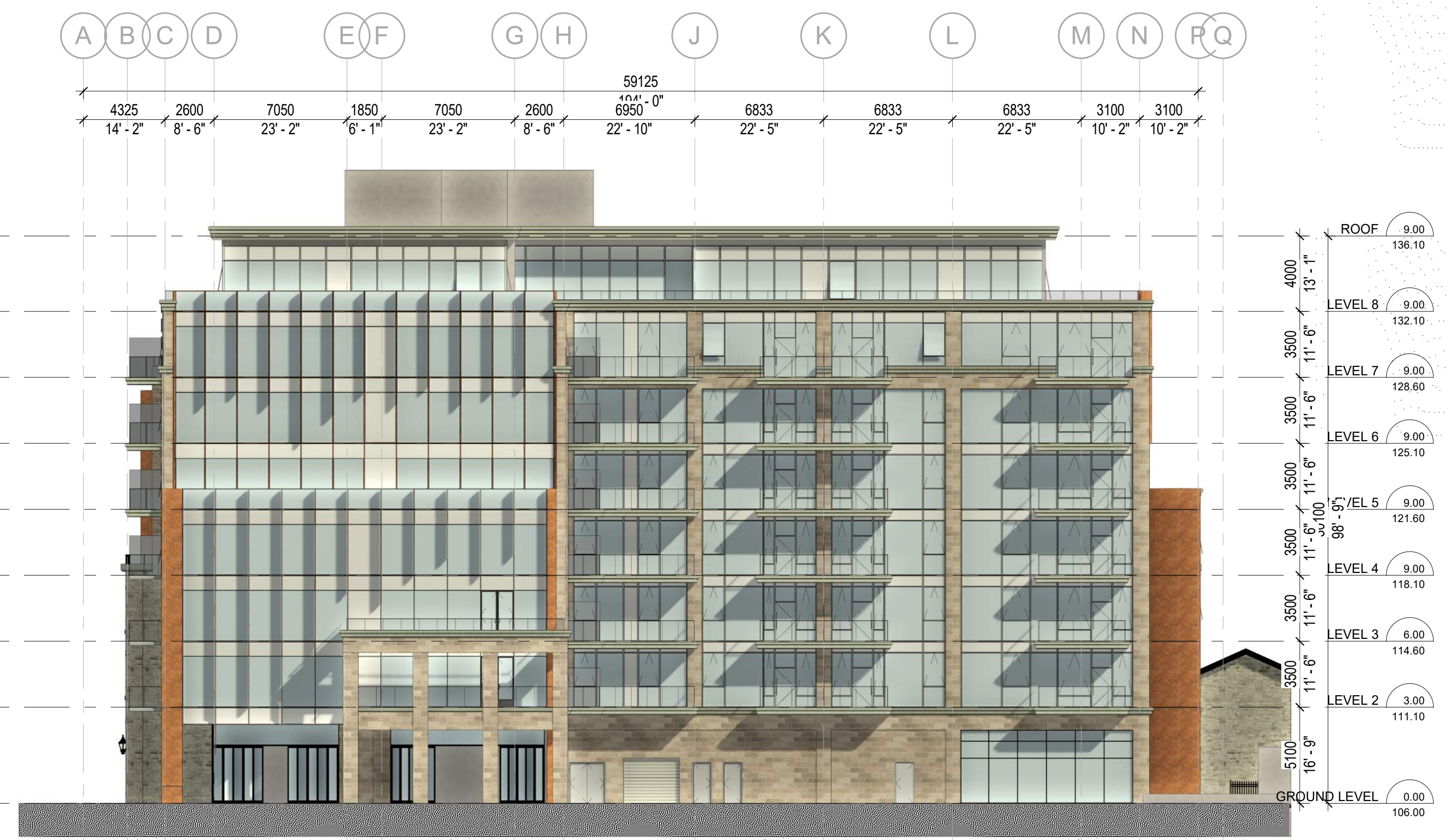
PRELIMINARY

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\\SRM-SRV-PDC\PROJECTS\2023 - Wilson Street, Ancaster (Urban Solutions)\DRAWINGS\Design Drawings\Revit\2023 - Wilson Street Ancaster Building_2023-05-30_8 Storey.rvt

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner. The material contained herein reflects the Consultant's best judgment in light of the information available to him at the time of preparation and is not to be used as a basis for any claims or actions based on the Contract Documents. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents.



1 EAST ELEVATION
1:200



2 SOUTH ELEVATION (ACADEMY STREET)
1:200

- GENERAL NOTES**
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 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
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3	14/12/2021	ISSUED FOR CLIENT REVIEW
2	08/12/2021	ISSUED FOR CLIENT REVIEW
1	02/12/2021	ISSUED FOR CLIENT REVIEW

Client:

Augustus
CONDOMINIUMS IN ANCASTER

Project Name / Address:

**392-412 WILSON STREET
EAST & 15 LORNE
AVENUE, ANCASTER**

Project No: 22023

Drawing Date: 02/12/2021

Drawn by: TH Checked by: ET

Office Location: KITCHENER

Plot Date / Time: 2023-05-30 10:23:58 AM

ELEVATIONS

Drawing Scale: 1:200

Status:

Revision No: r8

Drawing No: D3.2

PRELIMINARY